



THE ASSAM GAZETTE

অসাধাৰণ

EXTRAORDINARY

প্ৰাপ্ত কৰ্তৃত্বৰ দ্বাৰা প্ৰকাশিত

PUBLISHED BY THE AUTHORITY

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No. 34 Dispur, Wednesday, 10th January, 2024, 20th Pausa, 1945 (S. E.)

GOVERNMENT OF ASSAM
ORDERS BY THE GOVERNOR
GUWAHATI METROPOLITAN DEVELOPMENT AUTHORITY

NOTIFICATION

The 2nd January, 2024

No. GMDA/GEN/45/2023/Part/238.- WHEREAS, Guwahati is one of the 25 smart cities selected by Ministry of Housing and Urban Affairs (MoHUA) for pilot projects. Local Area Plan (LAP) is a sub-scheme under Atal Mission for Rejuvenation and Urban Transformation (AMRUT) which is a mechanism to improve the existing developed areas by improving the road network, public spaces and built form through planning, regulations and incentive based redevelopment of already developed areas under Atal Mission for Rejuvenation and Urban Transformation (AMRUT). The purpose of the Local Area Plan for Guwahati Central Area is to redevelop the older market places, residential and institutional areas of the core of the city which have been densified over the years and are facing lack of adequate up-gradation for requisite infrastructure, access or public facilities.

AND WHEREAS, on the basis of this Local Area Plan, pilot project has been proposed for the core area of Guwahati covering approximately 297.05 Ha (approx.) of Fancybazar, Paltanbazar, Uzanbazar and the Brahmaputra Riverfront area.

AND WHEREAS, under Smart Cities Mission, an Area Development Strategy has been advocated in the form of retrofitting or redevelopment of Brown-field areas of the core areas of the city through preparation of the Local Area Plan (LAP).

AND WHEREAS, in exercise of the powers conferred under clauses (b) and (c) of sub-section (1) of section 50A of the Guwahati Metropolitan Development Authority, Act 1985 (as amended) as published in the Assam Gazette Extraordinary No.484 dated 13th October 2023, Guwahati Metropolitan Development Authority had declared the 'development area' and the intention to prepare a Local Area Plan in Fancybazar, Paltanbazar, Uzanbazar and the Brahmaputra Riverfront area inviting claimants of any interest on any land or building within the notified area, and the Authority has not received any claims in this regard.

Now, in exercise of the powers conferred under clause (a) of sub-section (4) of section 50A of the Guwahati Metropolitan Development Authority Act, 1985 (as amended), and in pursuance of Govt. approval for publication of the Draft vide ECF. 372528/114 dated 29th December 2023, the Draft Local Area Plan for Guwahati Central Area at Fancybazar, Panbazar, Uzanbazar and Brahmaputra River front is hereby published inviting objections and suggestions in writing from the persons or claimants within a period of 2 (two) months from the date of publication of this notification in the Official Gazette.

The Draft Local Area Plan may be inspected by the persons or claimants of any interest on any land and building of the scheme area at the office of the Guwahati Metropolitan Development Authority office, Bhangagarh Guwahati-05, and office of the Guwahati Municipal Corporation, Uzanbazar, Guwahati-01. The details of the Draft Local Area Plan which includes LAP maps of existing and revised plots, zoning maps, LAP forms, regulation, proposals and projects are also available in the official website of GMDA (www.gmda.assam.gov.in)

Objections and suggestions by any person or claimant may be submitted to this Authority in writing and the same may also be submitted online in the official email (masterplan.gmda@gmail.com) of this Authority.

ANBAMUTHAN M P,
Chief Executive Officer,
Guwahati Metropolitan Development Authority,
Bhangagarh, Guwahati-05.

Salient features of Guwahati Central Area LAP

Guwahati central area LAP is proposed under The Guwahati Metropolitan Development Authority Act, 1985 under section 50A “Special Provisions for Local Area Plan “. The local area plan is prepared for the area identified as per the notification dated No.484.GMDA-GEN-45-2023 on 12th October 2023.

Description of the area under the Guwahati Central Area for preparation of Local Area Plan:

The LAP site for Guwahati is located within Guwahati Metropolitan Area (GMA) and is a part of the Master Plan for Guwahati Metropolitan Area, 2025. It includes the areas of Fancy bazaar, Panbazar, Uzanbazar and the Bhramaputra river front.

The LAP area is spread across 297Hectares, with 113 Ha of land in private domain catering to approximately 3000 plot owners, and 184 Ha of land in public domain. Out of the 184 Ha in public domain 62Ha of land is under roads.

Concept for the Guwahati Central Area LAP

The Guwahati LAP area provides an opportunity to improve, revitalize and transform the existing area into a well organized central area. The LAP is a long-term plan with an approach to transform the area by encouraging redevelopment through incentive based regulation and minimum use of forceful acquisition. Transforming the area into an area that becomes destinations for local population citizens and tourists alike and a desirable place for people to live, shop, work and entertain.

The key features of the Guwahati Central Area are going to be.

The Guwahati central area LAP is designed to improve and revitalise its existing area into:

- an area with improved network and connectivity
- an area with the improved built form and urban character (private domain as well as public domain and on street bazaars)
- an area with improved green, blue and heritage network
- overall strengthening economy of the area through improving commercial activities heritage and tourism.
- Improving infrastructure and amenities

Salient Features of Guwahati Central Area LAP

Improvements in Network connectivity and Road Right-of-way

Creating a robust road network by achieving a clear hierarchy of arterials, sub-arterials and local streets by improving the road right of way, by designing and organising activities along them. Identifying new connection to future improve walkability eventually improving the circulation of pedestrian and vehicles in the area.

Salient features for Network connectivity and Road Right-of-way

- Improving major roads like MG Road, Jail Road, SS Road, GNB Road, Assam Trunk Road and minor roads like Kedar Road, MS Road, Dighuli Pukhuri Road, Tayabulla Road, MN Road, Ariz Path Road, Bhuban Road, Faye Ahmed Road with short term and long term proposals.
- Short term proposals focus on improvement in existing sidewalk and street improvement and long-term proposals focus on improvements in road right of way and street design by widening and redesign through incentive-based redevelopment in the LAP area.
- Part time pedestrianization of SS Road.
- The area will also develop additional new streets through incentivised redevelopment to improve walk ability in the LAP area. The proposals in the network connectivity and Road Right-of-way are suggested to make the LAP area future ready.

Improved Urban character (Zoning and Built form)

Improvement in the Urban character in the LAP area focus on creating a harmonious character that is desirable for locals and tourist, while enhancing the existing urban character and preserving the important land uses and shifting land uses which create nuisance and congestion in the area. The urban character will be improved through new zones and new regulations which will be specific to LAP area.

Salient features for Improved Urban character

- Proposal of Riverfront Revitalization Zone which will improve the character along the MG road, making it a great street.
- Shifting of Wholesale and warehousing zoning.
- Additional FAR of 2 times along MG road and 1.5 times in all other areas
- Form based approach for regulations on MG Road, Jail Road and SS road.

Improvements in the Green, Blue & Heritage Network

Improvements in the Green, Blue & Heritage Network focus on redevelopment and rejuvenation of all the Green, Blue and Heritage assets making the area a vibrant and beautiful destination for local and tourist alike. The proposals of lap focus on connect all landmarks through a pedestrian walkway on all major and minor roads, redevelopment of Brahmaputra riverfront which Making the Brahmaputra riverfront more accessible by providing plaza

Salient features for Improved Urban character

- Developing riverfront while integrating the planning with Brahmaputra Riverfront by Smart City Limited and all projects along the river.
- Providing a Bicycle network connecting the riverfront along MG Road from Bharalu Bridge – Veer Lachit Statue – Jetty (developed by IWT) – Sukleshwar Ghat – Heritage Center – Ropeway – Uzan Bazaar – Smart City Project.

- Development and Restoration of Heritage Precincts like Ambari Archeological site and integrating the key destinations with consistent signage lighting, smart bicycle parking and tourist facilities Publication of Local Area Plan.

For implementation of proposals and projects identified under the LAP pertaining to Green , Blue & Heritage, detailed DPR shall be prepared.

Draft LAP plan for Publication will comprise of

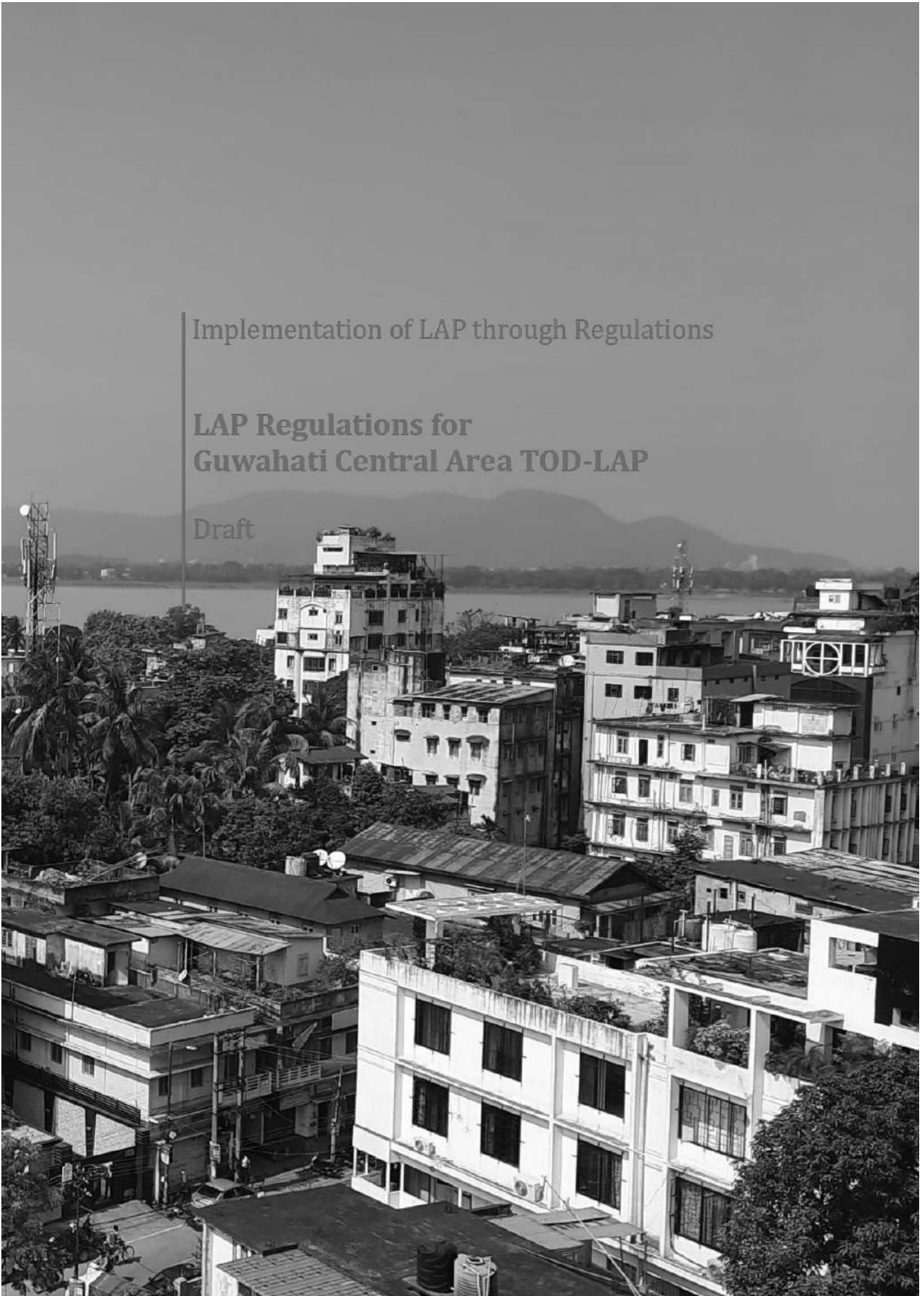
Publication of Draft LAP under sub-section 50A(4) of section 50(A) “Special Provisions for Local Area Plan”.The draft LAP for publication will comprise of :

- LAP Maps
 - **Existing Plot Map** - All Existing plots, Plots Number, Existing Buildings, Existing Public ROW, Existing Private ROW to be taken into Public domain
 - **Revised Plot Map with Built-to-line & Arcade** - Proposed Road RoW (Widening), Proposed Road RoW (New Addition), Revised Plots, Built to Line, Arcade
 - **Zoning Map** – Showing all LAP Zones
- LAP Forms
- LAP Regulations
- LAP Proposals and Projects

Implementation of LAP through Regulations

**LAP Regulations for
Guwahati Central Area TOD-LAP**

Draft



BACKGROUND

This Document is a part of the LAP publication under section 50A “Special Provisions for Local Area Plan” of The Guwahati Metropolitan Development Authority Act, 1985.

The Pilot on the Formulation of Local Area Plan (LAP) and Town Planning Scheme (TPS) is a sub-scheme launched under Atal Mission for Rejuvenation and Urban Transformation (AMRUT) by the Ministry of Housing and Urban Affairs (MoHUA), Government of India (GoI). The scheme aims to support LAP and TPS on a pilot basis in 25 cities and to build capacity in local planning bodies to undertake the required planning tasks.

Center for Planning and Policy (CUPP) is the center within CEPT Research and Development Foundation (CRDF) and is responsible to carry out the works related to urban planning and policy and the project, thus providing support for ‘Pilot on Formulation of Local Area Plan (LAP) & Town Planning Scheme (TPS).’ CRDF has been engaged as an anchor institute for providing technical support to Guwahati.

The authority responsible for preparing LAP and TPS in Guwahati is the Guwahati Metropolitan Development Authority (GMDA). GMDA has identified the preparation of LAP under section 50A “Special Provisions for Local Area Plan” of The Guwahati Metropolitan Development Authority Act, 1985.

GMDA Constitution of Sub Scheme City Level Committee to review the progress of the formulation of LAP/TPS: A City level committee was constituted vide notification no. UDD(T)122/2015/536 dated Dispur the 24th July 2019.

GMDA submitted the initial proposal Pilot on the formulation of LAP and TPS, identifying LAP & TPS to the MoHUA and later modified the LAP boundary and revised the TPS boundary on 12th December 2020 ref no GMDA/GEN/66/2018/328.

GMDA notified the LAP under its notification dated No.484.GMDA-GEN-45-2023 on 12th October 2023.

List of Definitions

1. **Base FAR:** Means the maximum floor area ratio allowable in a particular development intensity zone without premium charge.
2. **Basement:** Means the lower storey of a building having at least half of the clear floor height of the basement or cellar below average ground level.
3. **Build to Line:** Means a line with which the exterior wall of a building in a development is required to coincide. Some percent of the road side façade area of the ground or more floors in buildings with more than one floor, may extend to the road-side property line so that the building visually reinforces the building façade line of the street.
Building Height: Means the vertical distance measured from the sidewalk along the plot and up to the top of the finished level of the top most floor slab or in case of flat roofs up to the midpoint of the height of the sloping roof excluding the genuine stair cabin, water tank, and lift room. The height of the sloping roof shall be taken as an average height of the relevant floor.
4. **Building line:** Means the control line up to which the plinth of a building adjoining an existing, proposed or extended street may lawfully extend and includes the lines described in any TP Schemes and/or Development Plan.
5. **Front (Road Side) Margin:** Means the space provided from the road-side edge of the plot. In case a plot as multiple road side edges, all of such edges shall be considered as Front (road side) margin.
6. **Frontage:** Means the length of the front main edge of a plots on the road-side. For plots abutting two or more roads, the side along the wider road shall be considered as the frontage. (illustration)
7. **Local Area Plan (LAP):** LAP is the principal statutory planning instrument for setting out a balanced understanding, vision and spatial strategies at the local level within the framework of the Master plan.
8. **Overlay zone:** Means an additional zone defined over a base zone to provide an additional set of regulations to promote and / or regulate development to achieve specific character or Form.
9. **Permissible FAR:** Means the basic FAR permitted by the Competent Authority as a matter of right.
10. **Plinth:** Means the solid or hollow volume below the floor which is immediately above the ground level.

11. **Plot:** means a single or an un-subdivided unit of land owned by a single owner or jointly owned by a group of owners, which can be developed as a single use or mixed use development. A plot can be merged with another plot or could be further subdivided into multiple smaller plots through a layout approval by the appropriate authority.
12. **Premium FAR:** Means the FAR available by payment.
13. **Rear margin:** Means the space provided from the rear edge of the Plot. The edge of the plots with no end points intersecting or coinciding on the front (road-side) margin.

Section A: Preamble

1. PREAMBLE

The Development Regulations generally include three types of regulations:

- a) **Planning Regulations:** These regulations define the regulations pertaining to the land use, FAR, heights, Setbacks, parking requirements and other aspects to regulate the development of Land in order to direct the development envisioned in the Development Plan and/or in the micro level plans such as the Town Planning Schemes and Local Area Plans.

This document provides the Planning Regulations under draft Guwahati Central Area Transit Oriented Development -Local Area Plan (TOD-LAP). Unless specified, the Planning Regulations covered in this document shall supersede the current planning regulations, including those provided under *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*. All other regulations, including procedures regulations and building regulations (Such as regulations related to building structure, safety and performance) shall be as per *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*, prevailing building byelaws of the specific local bodies and relevant building codes.

Section B: Planning Regulations

2. PROPOSED ZONING FOR GUWAHATI CENTRAL AREA TOD-LAP

The central area TOD-LAP in Guwahati has been conceived with the vision for revitalization of the area. With this Vision 9 zones have been identified within the delineated boundary. These zones are:

2.1 Concept of Zones for Central Area TOD-LAP

- 2.1.1 Riverfront Revitalization Zone (RF1): The Riverfront Revitalization Zone (RF1) is identified near the riverfront area along the MG Road. The development/ redevelopment along the area is envisioned with principles of developing state of the art riverfront in Guwahati. This zone envisions Improving the character along the riverfront by strengthening and reinforcing the economic activities and promoting high-intensity Commercial Mix along MG road.
- 2.1.2 Jail Road and Hem Baruah Road Overlay (JRO): The Jail Road Overlay (JRO) is an overlay on plots along both sides of the Jail Road. The overlay zone is conceptualized to achieve the envisioned built form and character along the Jail Road
- 2.1.3 SS Road Overlay (SRO): The SS Road Overlay (SRO) is an overlay on plots along both sides of the SS Road. The overlay zone is conceptualized to achieve the envisioned built form and character along the SS Road.
- 2.1.4 Botanical Garden Overlay (BGO): The Botanical Garden Overlay (BGO) is an overlay on plots along the sides of the Botanical Garden. The overlay zone is conceptualized to achieve the envisioned built form and character along the Botanical Garden.
- 2.1.5 Commercial Mixed-Use Zone (CMU): The Commercial Mixed-Use Zone (CMU) is envisioned to improve the commercial and hotel character in parts of Pan Bazaar and Fancy Bazaar. It is also envisioned to Improve the Commercial Mix character near Bharalumukh and Paltan Bazaar.
- 2.1.6 Mixed Use Zone (MU): The Mixed Use Zone (MU) is envisioned to improve/ Declutter the Wholesale Areas for potential development & redevelopment
- 2.1.7 Residential Mixed-Use Zone (RMU): The Residential Mixed-Use Zone (RMU) is envisioned to improve Residential character in Uzan Bazaar area.
- 2.1.8 Station Development Zone (STN): The Station Development Zone (STN) is envisioned for Improving /Better Utilization of railway land.
- 2.1.9 Public & Semi Public (PSP): The Public & Semipublic zone (PSP) is envisioned to Better Utilize & Enhance the Institutional character in Pan Bazaar and Fancy Bazaar

2.2 Zones & Permissible Uses

S.No.	Land Uses	Use Zones in which permitted					
		RF1	CMU	MU	RMU	STN	PSP
1	Airport, Helipad, Flying Club						
2	Art gallery, museum, exhibition centre	●	●	●	●	●	●
3	Auto Supply store and Show room for motor vehicle and machinery	●	●	●			
4	Automobile service and repairing station						
5	Bank and Safe deposit vault	●	●	●	●	●	●
6	Bird Sanctuary						
7	Boarding or lodging house	●	●	●	●	●	●
8	Botanical garden						
9	Bus Depot						
10	Bus Terminal						
11	Canteen and eating house serving the industries						
12	Cemetery, crematorium, burial ground, electric crematorium					●	●
13	Children Traffic Park					●	●
14	Cinema	●	●	●	●	●	●
15	Clinic for pets	●	●	●	●	●	●
16	Clinical Laboratory	●	●			●	●
17	Club house not conducted primarily as business	●	●	●	●	●	●
18	Club house or other recreational activities conducted as business	●	●	●			
19	Cold storage and ice factory						
20	College	●	●	●		●	●

21	Commercial/ business Offices	●	●	●			
22	Community hall & welfare centre	●	●	●	●	●	●
23	Contractor plant and storage for building material						
24	Convenience Shopping Centre	●	●	●	●	●	●
25	Convention Centre					●	●
26	Cottage, Handloom and Household Industries	●	●	●	●	●	●
27	Court					●	●
28	Crèche & Day Care Centre	●	●	●	●	●	●
29	Cultural and Information Centre	●	●	●	●	●	●
30	Customary home occupation	●	●	●	●		
31	Defence					●	●
32	Diary and poultry industry						
33	Dispensary	●	●	●	●	●	●
34	Dry Cleaners-cleaning and dyeing	●	●	●	●	●	●
35	Educational and research institution	●	●	●	●	●	●
36	Electric Sub-station	●	●	●	●	●	●
37	Existing Village				●		
38	Fair Ground					●	●
38 - A	Farm House						
39	Film studio						
40	Fish curing						
41	Flatted Group Industry						
42	Flood control work	●	●	●	●	●	●

43	Forensic Science Laboratory	●	●			●	●
44	Forest						
45	Gas Godown	●	●	●	●	●	●
46	General Industries						
47	Golf course						
48	Green house	●	●	●	●	●	●
49	Gymnasium	●	●	●	●	●	●
50	Health Centre	●	●	●	●	●	●
51	Hospital	●	●	●	●	●	●
52	Hostels for educational institution	●	●	●	●	●	●
53	Hotel & Bed and Breakfast	●	●	●	●	●	●
54	Indoor Games Hall	●	●	●	●	●	●
54-A	Integrated Township						
55	Jail						
56	Junk yard						
57	Local, Municipal, State or Central Government office	●	●	●	●	●	●
58	Mechanical workshop with lathes, drills, grinders, spot welding set						
59	Medical, eye and dental practitioners' clinic	●	●	●	●	●	●
60	Monument	●	●	●	●	●	●
61	Motor Driving Training Centre						
61 - A	Motel	●	●	●	●	●	●
62	Municipal facility (as listed in Annex VII)	●	●	●	●	●	●
63	Music, dance, drama training centre	●	●	●	●	●	●

64	Neighbourhood Shopping Centre-convenience & local shopping with vegetables, fruits, flowers, fish and meat.	●	●	●	●		
65	Night Shelter	●	●	●	●	●	●
66	Nursery, Horticulture and Orchards	●	●	●	●	●	●
67	Nursing Home	●	●	●	●	●	●
68	Oil Depot						
69	Open Air Theatre						
70	Orphanage	●	●	●	●	●	●
71	Park, play ground, playfield and recreational area	●	●	●	●	●	●
71-A	Parking - Multi level Parking Structure with retail street frontage		●				
72	Personal Service Shop	●	●	●	●	●	●
73	Petrol filling station	●	●	●	●	●	●
74	Photograph studio and laboratory	●	●	●	●	●	●
75	Piggery						
76	Planetarium	●	●			●	●
77	Police Headquarter and Police Lines					●	●
78	Police Station, Out Post and Fire Station	●	●	●	●	●	●
79	Post office, Telephone Exchange, Telegraph Offices	●	●	●	●	●	●
80	Professional office of a resident of the premise	●	●	●	●		
81	Public library	●	●	●	●	●	●
82	Radio broadcasting studio	●	●	●	●	●	●
83	Railway Station					●	
84	Reformatory (Juvenile Home)					●	●

85	Refinery						
86	Religious Place like temple, namghar, mosque, church etc	●	●	●	●	●	●
87	Research and Development Centre	●	●	●	●	●	●
88	Residence cum Work Plot	●	●	●	●		
89	Residential Dwelling	●	●	●	●	●	●
89 - A	Residential Dwelling Low Income Group	●	●	●	●	●	●
90	Residential Plot- Plotted Housing			●	●	●	●
91	Restaurant, cafeteria, milk bar	●	●	●	●	●	●
92	Retail Shop	●	●	●	●	●	●
93	Satellite and Telecommunication Center					●	●
94	Schools	●	●	●	●	●	●
95	Service Centre	●	●	●	●		
96	Sewerage treatment plant						
96-A	Shopping Mall	●	●	●		●	
96-B	Shopping Center	●	●	●	●	●	
97	Social, cultural and religious institution	●	●	●	●	●	●
98	Specialised Park/Ground	●	●	●	●	●	●
99	Sports Training Center					●	●
100	Stadium						
101	Storage of petroleum and other inflammable materials						
102	Storage, Warehouses and Godown						
102 - A	Storage of Processed Food & Diary Product Consumer and stationery article					●	●
103	Swimming Pool	●	●	●	●	●	●

104	Taxi stand and bus stand, cycle and rickshaw stand	●	●	●	●	●	●
105	Theatre, assembly or concert hall, dance and music hall and such other place of entertainment;	●	●	●	●	●	●
106	Truck terminal						
107	Vending Booth	●	●	●	●	●	●
108	Vocational Training/Technical Training Institute	●	●	●	●	●	●
109	Watchmen or caretaker's lodges	●	●	●	●	●	●
110	Water Treatment Plant						
111	Weekly Market/ Informal Sector Unit	●	●	●	●	●	●
112	Wholesale Trade						
113	Wireless transmitting and weather station, Transmission Tower					●	●
114	Zoological park						

2.3 Zones & FAR

Sr. No.	Use Zone	Code	Floor Area Ratio (FAR)			
			Plot Size (Sqm/ Bigha/ Katha)*			
			Upto 670 sqm (2.5 K)	Above 670 sqm (2.5K) upto 1338 sqm (1B)	Above 1338 sqm (1B) upto 6690 sqm (5B)	Above 6690 sqm (5B) upto 13380 sqm (10B)
Base FAR: Base FAR available on all plots in all zones is 160						
Premium FAR: Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022						
1	Riverfront Revitalization Zone	RF1	175	400	No cap	No Cap
2	Jail Road and Hem Baruah Rd Overlay	JRO	175	400	No cap	No Cap
3	SS Road Overlay	SRO	175	400	No cap	No Cap
4	Botanical Garden Overlay	BGO	175	400	No cap	No Cap
5	Commercial Mixed-Use Zone	CMU	175	300	375	400
6	Mixed Use Zone**	MU	175	300	375	400*
7	Residential Mixed-Use Zone	RMU	175	300	375	400
8	Station Development Zone	STN	175	300	375	400
9	Public & Semipublic	PSP	175	300	375	400
Plot size*: All plots upto 670sqm shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.						
Mixed Use Zone: An additional 50 FAR will be allowed for redevelopment of plots of 670 sqm and above up to the permissible height under wholesale use						

3. RIVERFRONT REVITALIZATION ZONE (RF1)

3.1 Introduction

3.1.1 Description

- The Riverfront Revitalization Zone (RF1) is identified near the riverfront area along the MG Road.
- The development/ redevelopment along the area is envisioned with principles of developing state of the art riverfront area in Guwahati.
- This zone envisions Improving the character along the riverfront by strengthening and reinforcing the economic activities and promoting high-intensity Commercial Mix along MG road

3.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

The detailed list of activities permissible in this zone is attached in Section 2.2 above. (*Refer Section 2 for detailed list of Permissible uses in RF1 Zone*).

3.3 Floor Area Ratio (FAR)

1. All plots in the Riverfront Revitalization Zone (RF1) shall have a base FAR of 160.
2. All plots in the riverfront revitalization zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
6. The plots in this zone may consume additional FAR through purchase of TDR up to the permissible height and permissible under other regulations.

3.4 Building Height

1. The maximum permissible height in this zone shall be 45.6m.
2. The maximum permissible height shall include intermediate service floor, parking floors.
3. Height exception: The following appurtenant structure shall be exempted from calculation of the height of building if the ground coverage of such an appurtenant structure is not more than 70%:
 - a) Lift Machine room, Staircase, parapet height shall not be included in the height of the building.
 - b) Roof tanks and their supports not exceeding 2.0 m. in height.
 - c) Ventilating, air conditioning and lift rooms and similar service equipment's, stair covered with roof up to 3.0 m. in height. chimney and architectural features not exceeding 1.5 m. in height.
 - d) Any structure, temporary or permanent, shall not be permissible above 3m of height above the maximum permissible height of 45.6m

3.5 Setbacks, Built-to-line and Arcades

3.5.1 Front Setbacks

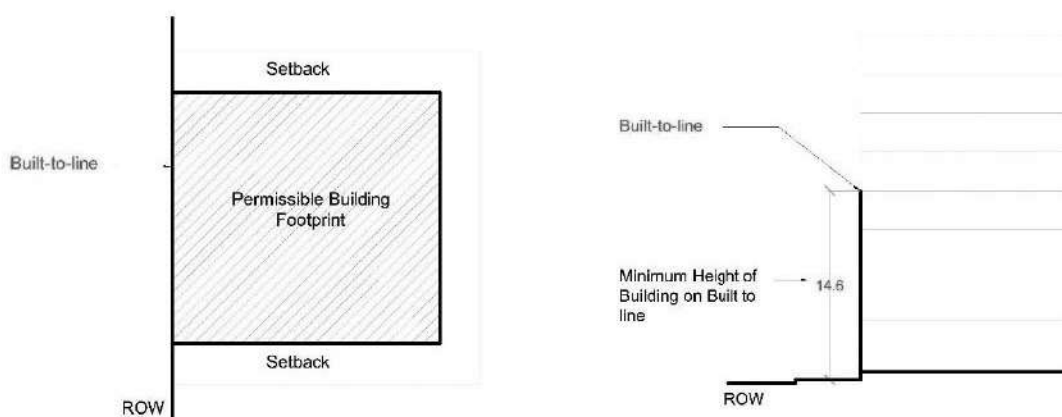
1. No front setbacks on plots in the Riverfront Revitalization Zone (RF1) are required.
2. All plots within the RF1 zone shall mandatorily have their building front edge (building line) on the built-to-Line. (*Refer section 3.5.3*)
3. For this Zone, all plots should refer to the built-to-line identified in the LAP Maps.

3.5.2 Side and Rear Setbacks

1. A minimum of 3m of side and rear setback shall be required for buildings with height of 15.6m.
2. A minimum of 4.5m of side and rear setback shall be required for buildings with height of more than 15.6m and up to 27.6m.
3. A minimum of 6m side and rear setback shall be required for building with height of more than 27.6m.

3.5.3 Built-to-Line

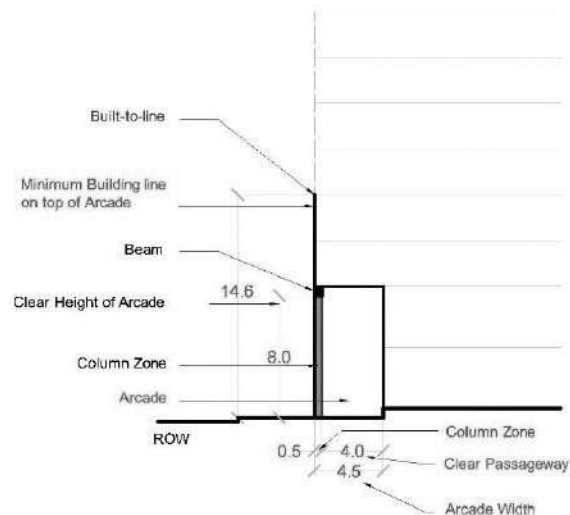
1. All buildings on the plots adjacent to the MG Road shall be built to have its building front Edge (building line) on the revised plot line as indicated in the LAP Maps.
2. The minimum building height along the build-to-line shall be 14.6m from the sidewalk level and shall have active frontage. (*Refer figure below*).
3. Wherever an arcade is required, the minimum building height along the build-to-line shall be 14.6m from the plot level and shall have occupiable space inside.
4. Wherever an arcade is not required, the minimum building height along the build-to line shall be 14.6m from the plot level and shall have occupiable space inside.



3.5.4 Arcades

1. Arcade shall be built as part of the building on the built-to-line as indicated in the Local Area Plan Maps.
2. Arcade shall have fixed clear height of 8 m from the sidewalk level. (*Refer figure... below*)
3. The arcade must have continuous width of 4.5m from the built-to-line. (*Refer figure... below*)
4. Arcade must have a minimum clear width of 4m. (*Refer figure below*)
5. The maximum clear distance between columns forming any side of the arcade shall not be more than 4.5m. The column width shall not be more than 1m.

6. Arcade must be a clear continuous volume without any steps, walls or any other obstructions.
7. The Arcade shall be accessible along the complete stretch of adjacent sidewalk, free of any barriers.



3.6 Basement

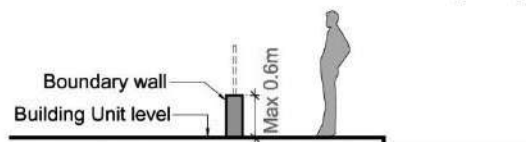
1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

3.7 Parking

1. Parking shall be permitted in basement and on all levels, except on the roadside frontage along Build-to-Line as identified in the LAP Map.
2. For Residential buildings, group housing and apartment buildings, the total area under parking shall be minimum 30% of the total built up area under commercial use.
3. For commercial with shops, store, market, for display of sale of merchandise and for Commercial with business office, Firms for private businesses, the total area under parking shall be minimum 50% of the total built up area under commercial use
4. For all other uses, the parking shall be permissible as per Appendix 1: Minimum No of Off-street Parking Space of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

3.8 Boundary Wall, Boundary Gate and Vehicular Access

1. There shall be no boundary wall on the plot frontage along the MG road.
2. No boundary wall shall be permissible in the space between continuous arcades.
3. Boundary wall of up to 0.6m height shall be permitted between the two adjacent plots and along the other roads.
4. A grill fence on top of the boundary wall is permitted up to the height of 1.5m from plot level. The grill fence shall have at least 50% open perforation allowing through visibility.



4. JAIL ROAD and HEM BARUAH ROAD OVERLAY (JRO)

4.1 Introduction

4.1.1 Description

- The Jail Road Overlay (JRO) is an overlay on plots along both sides of the Jail Road as identified in the Local Area Plan Maps.
- The overlay zone is conceptualized to achieve the envisioned built form and character along the Jail Road.

4.2 Permissible Uses

The following uses for all plots within this overlay will be as per the permissible uses of the Base Zone.

The detailed list of activities permissible in this zone is attached in section 2.2 above.

4.3 Floor Area Ratio (FAR)

1. All plots in the Jail Road Overlay (JRO) shall have a base FAR of 160.
2. All plots in the JRO zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
6. The plots in this zone may consume additional FAR through purchase of TDR up to the permissible height and permissible under other regulations.

4.4 Building Height

1. The maximum permissible height in this zone shall be 36.6m.
2. The maximum permissible height shall include intermediate service floor, parking floors.
3. Height exception: The following appurtenant structure shall be exempted from calculation of the height of building if the ground coverage of such an appurtenant structure is not more than 70%:
 - a) Lift Machine room, Staircase, parapet height shall not be included in the height of the building.
 - b) Roof tanks and their supports not exceeding 2.0 m. in height.
 - c) Ventilating, air conditioning and lift rooms and similar service equipment's, stair covered with roof up to 3.0 m. in height. chimney and architectural features not exceeding 1.5 m. in height.
 - d) Any structure, temporary or permanent, shall not be permissible above 3m of height above the maximum permissible height of 45.6m

4.5 Setbacks, Built-to-line and Arcades

4.5.1 Front Setbacks

1. No front setbacks on plots in the Jail Road overlay (JRO) are required.
2. All plots within the JRO zone shall mandatorily have their building front edge (building line) on the build-to-Line.

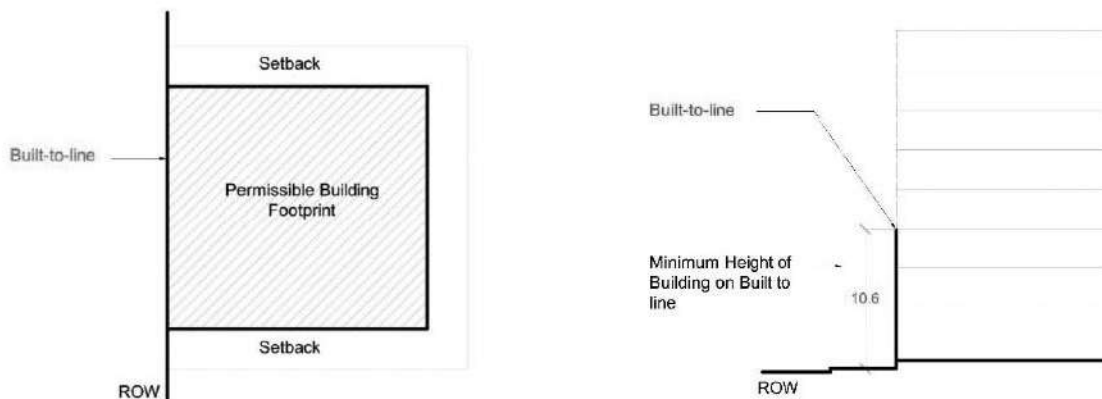
3. For this Zone, all plots should refer to the built-to-line identified in the LAP Map.

4.5.2 Side and Rear Setbacks

1. A minimum of 3m of side and rear setback shall be required for buildings with height of 15.6m.
2. A minimum of 4.5m of side and rear setback shall be required for buildings with height of more than 15.6m and up to 27.6m.
3. A minimum of 6m side and rear setback shall be required for building with height of more than 27.6m.

4.5.3 Built-to-Line

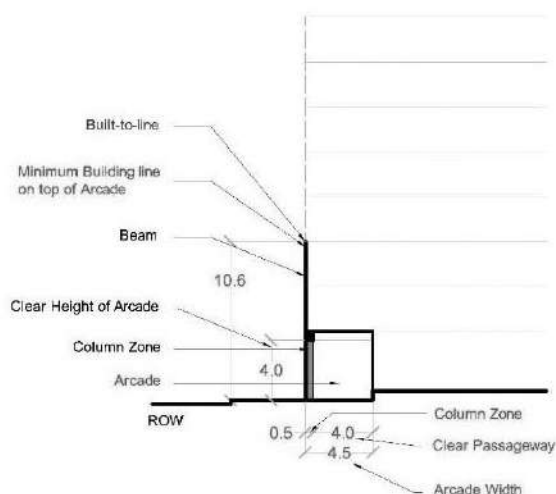
1. All buildings on the plots adjacent to the Jail Road shall be built to have its building front Edge (building line) on the revised plot line as indicated in the LAP Map.
2. The minimum building height along the build-to-line shall be 10.6m from the sidewalk level and shall have active frontage. (Refer figure below).
3. Wherever an arcade is required, the minimum building height along the build-to-line shall be 10.6m from the plot level and shall have occupiable space inside.
4. Wherever an arcade is not required, the minimum building height along the build-to-line shall be 10.6m from the plot level and shall have occupiable space inside.



4.5.4 Arcades

1. Arcade shall be built as part of the building on the built-to-line as indicated in the Local Area Plan Maps.
2. Arcade shall have fixed clear height of 4.0m from the sidewalk level. (Refer figure below)
3. The arcade must have continuous width of 4.5m from the built-to-line. (Refer figure below) Arcade must have a minimum clear width of 4m. (Refer figure below)
4. The maximum clear distance between columns forming any side of the arcade shall not be more than 4.5m. The column width shall not be more than 1m.
5. Arcade must be a clear continuous volume without any steps, walls or any other obstructions.

6. The Arcade shall be accessible along the complete stretch of adjacent sidewalk, free of any barriers.



4.6 Basement

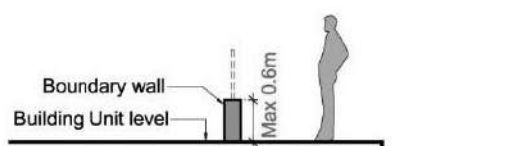
1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

4.7 Parking

1. Parking shall be permitted in basement and on all levels, except on the roadside frontage along Build-to-Line as identified in the LAP Map.
2. For Residential buildings, group housing and apartment buildings, the total area under parking shall be minimum 30% of the total built up area under commercial use.
3. For commercial with shops, store, market, for display of sale of merchandise and for Commercial with business office, Firms for private businesses, the total area under parking shall be minimum 50% of the total built up area under commercial use
4. For all other uses, the parking shall be permissible as per Appendix 1: Minimum No of Off-street Parking Space of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

4.8 Boundary Wall, Boundary Gate and Vehicular Access

1. There shall be no boundary wall on the plot frontage along the Jail road.
2. No boundary wall shall be permissible in the space between continuous arcades.
3. Boundary wall of up to 0.6m height shall be permitted between the two adjacent plots and along the other roads.
4. A grill fence on top of the boundary wall is permitted up to the height of 1.5m from plot level. The grill fence shall have at least 50% open perforation allowing through visibility.



5. SS ROAD OVERLAY (SRO)

5.1 Introduction

5.1.1 Description

- The SS Road Overlay (SRO) is an overlay on plots along both sides of the SS Road.
- The overlay zone is conceptualized to achieve the envisioned built form and character along the SS Road.

5.2 Permissible Uses

The following uses for all plots within this overlay will be as per the permissible uses of the Base Zone.

The detailed list of activities permissible in this zone is attached in section 2.2.

5.3 Floor Area Ratio (FAR)

1. All plots in the SS Road Overlay Zone (SRO) shall have a base FAR of 160.
2. All plots in the SRO zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
6. The plots in this zone may consume additional FAR through purchase of TDR up to the permissible height and permissible under other regulations.

5.4 Building Height

1. As per the Planning regulations 4.4

5.5 Setbacks, Built-to-line and Arcades

5.5.1 Front Setbacks

1. As per the Planning regulations 4.5.1

5.5.2 Side and Rear Setbacks

1. As per the Planning regulations 4.5.2

5.5.3 Built-to-Line

1. As per the Planning regulations 4.5.3

5.5.4 Arcades

1. As per the Planning regulations 4.5.4

5.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

5.7 Parking

1. As per the Planning regulations 4.7

5.8 Boundary Wall, Boundary Gate and Vehicular Access

1. There shall be no boundary wall on the plot frontage along the SS road
2. As per the Planning regulations 4.8

6. BOTANICAL GARDEN OVERLAY (BGO)

6.1 Introduction

6.1.1 Description

- The Botanical garden Overlay (BGO) is an overlay on plots along the sides of the Botanical garden.
- The overlay zone is conceptualized to achieve the envisioned built form and character along the Botanical garden

6.2 Permissible Uses

The following uses for all plots within this overlay will be as per the permissible uses of the Base Zone.

The detailed list of activities permissible in this zone is attached in section 2.2 above

6.3 Floor Area Ratio (FAR)

1. All plots in the Botanical Garden Overlay Zone (BGO) shall have a base FAR of 160.
2. All plots in the BGO zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
6. The plots in this zone may consume additional FAR through purchase of TDR up to the permissible height and permissible under other regulations.

6.4 Building Height

1. As per the Planning regulations 4.4

6.5 Setbacks, Built-to-line and Arcades

6.5.1 Front Setbacks

1. As per the Planning regulations 4.5.1

6.5.2 Side and Rear Setbacks

1. As per the Planning regulations 4.5.2

6.5.3 Built-to-Line

1. As per the Planning regulations 4.5.3

6.5.4 Arcades

1. As per the Planning regulations 4.5.4

6.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

6.7 Parking

1. As per the Planning regulations 4.7

6.8 Boundary Wall, Boundary Gate and Vehicular Access

1. There shall be no boundary wall on the plot frontage along the botanical Garden Overlay
2. As per the Planning regulations 4.8

7. Commercial Mixed-Use Zone (CMU)

7.1 Introduction

7.1.1 Description

- The Commercial Mixed Use Zone (CMU) is envisioned to improve the commercial + hotel character in Pan Bazaar and Fancy Bazaar.
- It is also envisioned to Improve the Commercial Mix character in Bharalumukh and Paltan Bazaar.

7.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

All types of Office Commercial, Retail commercial, Office commercial, Hotels, Residential, (& uses compatible with the Commercial Mixed Zone character). The detailed list of activities permissible in this zone is attached in section 2.2 above.

7.3 Floor Area Ratio

1. All plots in the Commercial Mixed-Use Zone (CMU) shall have permissible base FAR of 160.
2. All plots in the CMU zone shall have FAR as shown in the table 2.3
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022

7.4 Building Height

1. The maximum permissible height in this zone shall be identified as the proposed ROW width of the abutting Road (as per LAP maps) times 1.5.
2. The maximum permissible height shall include intermediate service floor, parking floors.
3. Height exception: The following appurtenant structure shall be exempted from calculation of the height of building if the ground coverage of such an appurtenant structure is not more than 70%:
 - a) Lift Machine room, Staircase, parapet height shall not be included in the height of the building.
 - b) Roof tanks and their supports not exceeding 2.0 m. in height.
 - c) Ventilating, air conditioning and lift rooms and similar service equipment's, stair covered with roof up to 3.0 m. in height. chimney and architectural features not exceeding 1.5 m. in height.
 - d) Any structure, temporary or permanent, shall not be permissible above 3m of height above the maximum permissible height identified as per 7.4.1.

7.5 Setbacks, Built-to-line and Arcades

7.5.1 Front Setbacks

1. The Front setback in this zone shall be provided based on plot size.
1. The Front setback for all plots less than 1338 sqm shall be 3 meters.
2. The Front setback for all plots equal to or above 1338 sqm shall be 6 meters.
3. Setbacks shall be provided as indicated in the Local Area Plan maps.

7.5.2 Side and Rear Setbacks

1. A minimum of 3m of side and rear setback shall be required for buildings with height of 15.6m.
2. A minimum of 4.5m of side and rear setback shall be required for buildings with height of more than 15.6m and up to 27.6m.
3. A minimum of 6m side and rear setback shall be required for building with height of more than 27.6m.

7.5.3 Built-To-Line

1. There shall be no requirement of built-to-line in this zone except for all plots falling within an overlay zone.

7.5.4 Arcades

1. There shall be no requirement of an arcade in this zone except for all plots falling within an overlay zone.

7.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

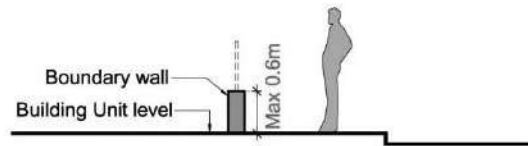
7.7 Parking

1. Parking shall be permitted in basement and on all levels, except on the roadside frontage along Build-to-Line as identified in the LAP Map.
2. For Residential buildings, group housing and apartment buildings, the total area under parking shall be minimum 30% of the total built up area under commercial use.
3. For commercial with shops, store, market, for display of sale of merchandise and for Commercial with business office, Firms for private businesses, the total area under parking shall be minimum 50% of the total built up area under commercial use
4. For all other uses, the parking shall be permissible as per Appendix 1: Minimum No of Off-street Parking Space of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

7.8 Boundary Wall, Boundary Gate and Vehicular Access

1. There shall be no boundary wall on the plot which are identified with Built to Line as per LAP Maps .
2. No boundary wall shall be permissible in the space between continuous arcades.
3. Boundary wall of up to 0.6m height shall be permitted between the two adjacent plots and along the other roads.

4. A grill fence on top of the boundary wall is permitted up to the height of 1.5m from plot level. The grill fence shall have at least 50% open perforation allowing through visibility.



8. Mixed Use Zone (MU)

8.1 Introduction

8.1.1 Description

- The Mixed Use Zone (MU) is envisioned to improve/ Declutter the Wholesale Areas for potential development & redevelopment.

8.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

All types of Office Commercial, Retail commercial, Office commercial, Hotels, Residential, (& uses compatible with the Mixed Zone character). The detailed list of activities permissible in this zone is attached in Section 2.2 above.

8.3 Floor Area Ratio

1. All plots in the Mixed-Use Zone (MU) shall have permissible base FAR of 160.
2. All plots in the MU zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Additional 50FAR will be allowed for redevelopment of plots of 670 sqm and above up to the permissible height which are currently under wholesale use.
6. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022

8.4 Building Height

1. As per the Planning regulations 7.4

8.5 Setbacks, Built-to-line and Arcades

8.5.1 Front Setbacks

1. As per the Planning regulations 7.5.1

8.5.2 Side and Rear Setbacks

1. As per the Planning regulations 7.5.2

8.5.3 Built-To-Line

1. As per the Planning regulations 7.5.3

8.5.4 Arcades

1. As per the Planning regulations 7.5.4

8.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

8.7 Parking

1. As per the Planning regulations 7.7

8.8 Boundary Wall, Boundary Gate and Vehicular Access

1. As per the Planning regulations 7.8

9. RESIDENTIAL MIXED USE ZONE (RMU)

9.1 Introduction

9.1.1 Description

- The Residential Mixed-Use Zone (RMU) is envisioned to improve Residential character in Uzan Bazaar area.

9.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

All types of Office Commercial, Retail commercial, Office commercial, Hotels, Residential, (& uses compatible with the Residential Mixed Zone character). The detailed list of activities permissible in this zone is attached in section 2.2 above.

9.3 Floor Area Ratio

1. All plots in the Residential Mixed-Use Zone (RMU) shall have permissible base FAR of 160.
2. All plots in the RMU zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022

9.4 Building Height

1. As per the Planning regulations 7.4

9.5 Setbacks, Built-to-line and Arcades

9.5.1 Front Setbacks

1. As per the Planning regulations 7.5.1

9.5.2 Side and Rear Setbacks

1. As per the Planning regulations 7.5.2

9.5.3 Built-To-Line

1. As per the Planning regulations 7.5.3

9.5.4 Arcades

1. As per the Planning regulations 7.5.4

9.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

9.7 Parking

1. As per the Planning regulations 7.7

9.8 Boundary Wall, Boundary Gate and Vehicular Access

1. As per the Planning regulations 7.8

10. STATION DEVELOPMENT ZONE (STN)

10.1 Introduction

10.1.1 Description

- The Station Development Zone (STN) is envisioned for Improving /Better Utilization of railway land.

10.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

All types of existing and proposed activities compatible with the Railway station area regeneration. The detailed list of activities permissible in this zone is attached in section 2.2 above.

10.3 Floor Area Ratio

1. All plots in the Station Development Zone (STN) shall have permissible base FAR of 160.
2. All plots in the STN zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022

10.4 Building Height

1. As per the Planning regulations 7.4

10.5 Setbacks, Built-to-line and Arcades

10.5.1 Front Setbacks

1. As per the Planning regulations 7.5.1

10.5.2 Side and Rear Setbacks

1. As per the Planning regulations 7.5.2

10.5.3 Built-To-Line

1. As per the Planning regulations 7.5.3

10.5.4 Arcades

1. As per the Planning regulations 7.5.4

10.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

10.7 Parking

1. As per the Planning regulations 7.7

10.8 Boundary Wall, Boundary Gate and Vehicular Access

1. As per the Planning regulations 7.8

11. PUBLIC & SEMIPUBLIC (PSP)

11.1 Introduction

11.1.1 Description

- The Public & Semipublic Zone (PSP) is envisioned to Better Utilize & Enhance the Institutional character in Pan Bazaar and Fancy Bazaar.

11.2 Permissible Uses

The following uses, in form of single use or mixed-use, shall be permissible in this zone:

All types of existing and proposed Institutional buildings, (& uses compatible with the Institutional Zone character). The detailed list of activities permissible in this zone is attached in section 2.2 above.

11.3 Floor Area Ratio

1. All plots in the Public & Semipublic Zone (PSP) shall have permissible base FAR of 160.
2. All plots in the PSP zone shall have FAR as shown in the table 2.3.
3. All plots having roadside plot width of 25m or more shall have FAR as per table 2.3.
4. All plots having roadside plot width of less than 25m shall have FAR as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022.
5. Maximum permissible FAR over and above the Base FAR shall be allowed on payment of premium charges as given in per schedule- I as per the existing Assam Unified Building Construction (Regulations) Byelaws, 2022

11.4 Building Height

1. As per the Planning regulations 7.4

11.5 Setbacks, Built-to-line and Arcades

11.5.1 Front Setbacks

1. As per the Planning regulations 7.5.1

11.5.2 Side and Rear Setbacks

1. As per the Planning regulations 7.5.2

11.5.3 Built-To-Line

1. As per the Planning regulations 7.5.3

11.5.4 Arcades

1. As per the Planning regulations 7.5.4

11.6 Basement

1. Basement shall be permissible in this zone as per Regulations (30, 32, 66) under of *Assam Unified Building Construction (Regulation) Bylaws 2022 (AUBCRB 2022)*

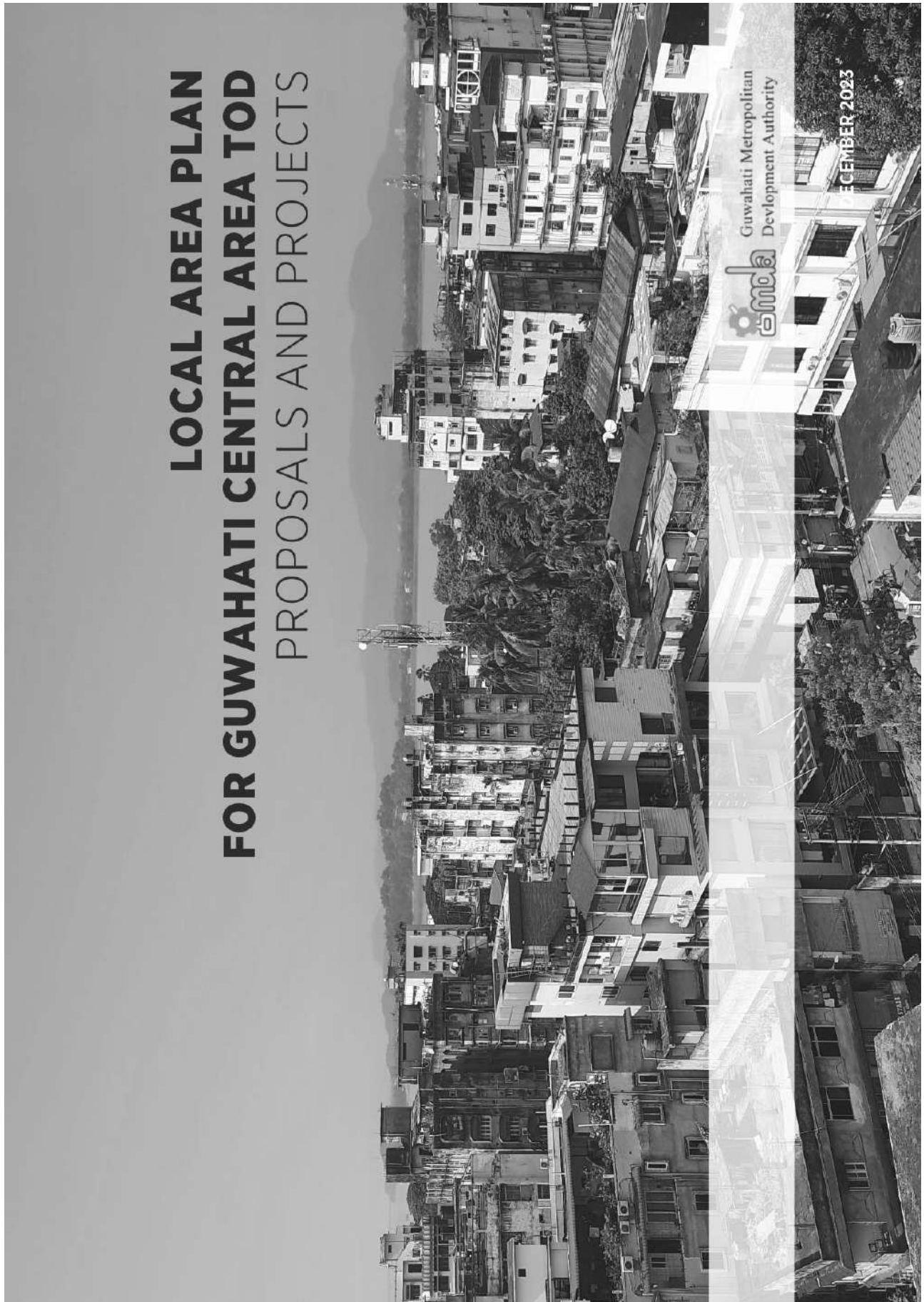
11.7 Parking

1. As per the Planning regulations 7.7

11.8 Boundary Wall, Boundary Gate and Vehicular Access

1. As per the Planning regulations 7.8

LOCAL AREA PLAN FOR GUWAHATI CENTRAL AREA TOD PROPOSALS AND PROJECTS



Introduction

The implementation of Local Area Plan for Guwahati Central Area TOD is supported by section 50A "Special Provisions for Local Area Plan" of The Guwahati Metropolitan Development Authority Act, 1985.

The Guwahati LAP area provides an opportunity to improve, revitalise and transform the existing area into a well organised central area. The LAP is a long-term plan with and approach to transform the area by encouraging redevelopment through incentive based regulation and minimum use of forceful acquisition. Transforming the area into an area that becomes destinations for local population citizens and tourists alike and a desirable place for people to live, shop, work and entertain.

The key features of the Guwahati Central Area are going to be.

- The Guwahati central area TOD LAP is designed to improve and revitalise its existing area into
- an area with improved network and connectivity
- an area with the improved built form and urban character (private domain as well as public domain and on street bazaars)
- an area with improved green, blue and heritage network
- overall strengthening economy of the area through improving commercial activities heritage and tourism.
- Improving infrastructure and amenities

The above mentioned improvements in the LAP needs to be implemented through the proposals, projects and regulations. Implementation through proposals and special projects are identified in the public domain.

Public domain means land which are under the ownership of public (various government organisation). The projects are for the use and benefit of the general public and will help in developing tourism and generating revenue. Several improvements in various sectors are identified through proposals and projects below.

Improvements in Road Network and Connectivity -

Creating a robust road network by achieving a clear hierarchy of arterials, sub-arterials and local streets by improving the road right of way, by designing and organising activities along them. Identifying new connection to future improve walkability eventually improving the circulation of pedestrian and vehicles in the area.

Improvements in Green and blue network -

Guwahati LAP site with its existing Riverfront, Dighuli Pukhuri, Jor Pukhuri, Padam Pukhuri and Nag Kata Pukhuri act as strong existing greens and blues. However, they are not connected well, and certain greens and blues need to be rejuvenated. The intervention includes integrating all of them while identifying the projects for importance.

Improvements in Heritage precinct and Network-

The LAP area has a lot of sites with rich heritage value and are of great importance. Ambari excavation site, the Sukleswar Ghat the Heritage Conservation Centre, the Nabin Chandra Bordoloi Hall, the library (built as historic Assam type structure), statue of Vir Lachit Borphukan are some of the assets which can be integrated with the Blue and Green Network. Similar to the greens these historically important sites need to be preserved and well maintained.

Improvements in Zoning -

The improvements will be identified through regulations and LAP Maps.

Beside is the masterplan highlighting all LAP proposals projects which are essential for its successful implementation.:

LOCAL AREA PLAN FOR GUWAHATI CENTRAL AREA TOD : PROPOSALS AND PROJECTS

Masterplan



Map 1: Maps highlighting the projects already considered for implementation

The maps, proposals and information presented in this report are based on preliminary data and observations. These will be revised upon completion of the detailed survey base map and availability of detailed datasets.

LAP Zoning -

Zoning is a way to manage the physical development of land in which a planning authority regulates development through regulations. The two integral part of zoning is the urban character and urban form.

Zoning should be supported with specific regulations to control and promote the development of certain kinds.

Following are the key considerations while delineating the Zoning.

Key Consideration for Zoning -

- Preserving important Existing Land use
- Shifting Land use creating Nuisance/Congestion
- Enhancing the Existing Urban Character
- New Zoning based on Development & Redevelopment Potential

The zoning exercise has been approached by studying the existing and proposed land use plan. Based on the key consideration certain zone from the Existing Land use and Proposed Land use are preserved and enhanced whereas nuisance creating zones are suggested to be shifted outside and new zoning has been suggested in areas with high development/redevelopment potential.

The zone in the LAP has been delineated based on the Urban Blocks, Road Network and Natural and Physical boundaries.

Preserving Important Land uses -

The important areas in Guwahati which bring character to the site are the famous institutional and educational lands. Also, the Riverfront area along the Brahmaputra is proposed recreational. These land uses have been preserved in zoning.

Shifting Land use creating Nuisance/Congestion -

The proposed land use identifies areas of Machkhowa and Fancy Bazaar as wholesale markets. As the urban core of cities grows, wholesale activities are shifted to the peripheries of the city for easier functionality, accessibility and management. Hence decluttering the wholesale areas and better utilization of the area for other activities was suggested.

Enhancing the existing Urban Character -

Maintaining the existing urban character of areas that are adding value to the site, the areas of the Fancy Bazaar and Pan Bazaar along with Paltan Bazaar have commercial as well as hotel mix. Maintaining these zones and uses is necessary as they make the site a landmark in Guwahati. Along with the other bazaars, Uzan Bazaar currently functions as a predominantly residential mixed area which can be enhanced.

New Zoning based on Development & Redevelopment Potential -

To create a character that is desirable for locals and tourists, looking at the riverfront and to see how can the zoning along the riverfront be improved. The Machkhowa and Fancy Bazaar areas which were wholesale markets are being looked at for redevelopment as mixed use areas and similarly the Paltan Bazaar area for promoting redevelopment into mixed use.

Potential Proposed Zoning -

Based on the criteria above, the potential proposed zoning consists of Nine different Zones as follows

1. Riverfront Revitalisation - The Riverfront Revitalization Zone (RFI) is identified near the riverfront area along the MG Road. The development/ redevelopment along the area is envisioned with principles of developing state of the art riverfront in Guwahati. This zone envisions improving the character along the riverfront by strengthening and reinforcing the economic activities and promoting high-intensity Commercial Mix along MG road.

2. Jail Road Overlay (JRO): The Jail Road Overlay (JRO) is an overlay on plots along both sides of the Jail Road. The overlay zone is conceptualized to achieve the envisioned built form and character along the Jail Road.

3. SS Road Overlay (SRO): The SS Road Overlay (SRO) is an overlay on plots along both sides of the SS Road.



The overlay zone is conceptualized to achieve the envisioned built form and character along the SS Road.

4. Botanical Garden Overlay (BGO): The Botanical Garden Overlay (BGO) is an overlay on plots along the sides of the Botanical Garden. The overlay zone is conceptualized to achieve the envisioned built form and character along the Botanical Garden.

5. Commercial Mixed-Use Zone (CMU): The Commercial Mixed-Use Zone (CMU) is envisioned to improve the commercial and hotel character in parts of Pan Bazaar and Fancy Bazaar. It is also envisioned to improve the Commercial Mix character near Bharalumukh and Paltan Bazaar.

6. Mixed Use Zone (MU): The Mixed Use Zone (MU) is envisioned to improve/ Declutter the Wholesale Areas for potential development & redevelopment.

7. Residential Mixed-Use Zone (RMU): The Residential Mixed-Use Zone (RMU) is envisioned to improve Residential character in Uzan Bazaar area.

8. Station Development Zone (STN): The Station Development Zone (STN) is envisioned for Improving /Better Utilization of railway land.

9. Public & Semi Public (PSP): The Public & Semipublic zone (PSP) is envisioned to Better Utilize & Enhance the Institutional character in Pan Bazaar and Fancy Bazaar.

Regulations - It can be understood that the regulations in Guwahati are interdependent on parameters like FAR, Road width, Ground Coverage, Plot Size, Building Height, Margins/Set Backs. However, this set of regulations, regulate development in isolation and do not achieve desired urban character.

Followings are recommendations for Regulation

- Simplify the regulations for doing Ease of Business (Ease of Development).
- Zoning to identify permissible Landuse & applicable FAR
- FAR to be based on Zone and not on any other factor
- Front setback consistent based on given road type.
- Simplify side and rear setbacks.
- Ground Coverage to be removed from regulations.

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Proposals and Projects -

1. Widening and Redesign of Identified Major Roads with identification of Built to line, Arcade and MUZ zones for parking and vending for -

- 1. MG Road
- 2. Jail Road
- 3. SS Road
- 4. Kedar Road
- 5. MS Road
- 6. Dighuli Pukhuri Road
- 7. Tayabulla Road
- 8. GNB Road
- 9. Assam Trunk Road
- 10. MN Road
- 11. Ariz Path Road
- 12. Bhuban Road
- 13. Favez Ahmed Road

14. Tabletop Junctions at important intersections

15. Riverfront - Making the riverfront accessible from other important landmarks in the area -

- a. Provision of Plazas
- b. Floating Jetty (developed by IWT)

16. Pedestrian and bicycle network connecting the

entire riverfront along MG Road from Bharalu Bridge - Veer Lachit Borphukan Statue - Jetty (developed by IWT) - Sukleshwar Ghat - Heritage Center & Padam Pukhuri - Ropeway - Uzan Bazaar market - Smart City Riverfront Project

17. Redevelopment and rejuvenation of all greens and blues in the area and making them accessible -

- a.Dighuli Pukhuri
- b. Padam Pukhuri
- c. Jor Pukhuri
- d. Nag Kata Pukhuri
- e. Botanical Garden
- f. Nehru Park
- g. Latasil Playground
- h. Machkowa Idgah Field

18. Development and Restoration of Heritage Precincts and integrating the key destinations with consistent signage lighting, smart bicycle parking amd tourist facilities -

- a. Dighuli Pukhuri
- b. Assam State Museum
- c. Ambari Archaeological Site
- d. Heritage Center

- e. Veer Lachit Borphukan Statue
- f. Ropeway

19. Mixed Use Multi-storied parking with active frontages and increased parking capacity -

- a. Development of Parking beside the Botanical Garden
- b. Development of parking at Kedar Road and Jail Road Intersection
- c. Redevelopment of Existing MLC parking at MG Road
- d. Improve access to parking at Nehru Park
- e. Redevelopment of existing parking at the end of SS Road

The maps, proposals and information presented in this report are based on preliminary data and observations. These will be revised upon completion of the detailed survey, base map and availability of detailed datasets.

1. Road Network and Connectivity-

Considering the whole improvement in network and connectivity, major projects are identified under the road network. Major roads like MG Road, Jail Road and SS Road are going to bring in transformation, while other roads like MN Road, Fayeze Ahmed, Kedar Road, GNB Road, MS Road, Dighuli Pukhuri and Tayabulla Road are going to help with improving the connectivity within the site and with the major roads.

1. MG Road - It is one of the major arterials which faces the riverfront and can be enhanced to be a "great street" within the LAP area. Hence for MG road, there are two approaches proposed. One is a short-term approach which includes sidewalk and street improvement and the other one is a long-term approach which involves widening and redesigning the RoW through incentive-based redevelopment.

2. Jail Road - It is a supporting road to MG Road, which runs parallel to each other, connecting the LAP Site. It has the potential to transform due to existing markets and hence it needs to be redeveloped. Even Jail Road has two approaches, one is a short-term approach which includes sidewalk and street improvement and the other one is a long-term approach which involves widening and redesigning the RoW.

3. SS Road - It is one of the most busiest roads in the LAP Site. It is predominantly filled with pedestrians throughout the day and hence it needs to be pedestrianised. Short term approach includes Part time pedestrianization and street improvement.

4. Kedar Road and 5. MS Road - Both these roads need to be enhanced to improve the connectivity between MG and AT Road and with the Botanical Garden, which is a prominent tourist destination. Hence, the improvement of these roads is essential.

6. Dighuli Pukhuri and 7. Tayabulla Road- These are the major roads connecting Dighuli Pukhuri to MG Road and the nearby areas. There is a need to improve the public realm along the road, especially pedestrian movement and on-street parking.

8. GNB Road- The road has been proposed to function as a major road connecting the railway station to the site. There is a two-way road from SLB Chowk to Dighuli Pukhuri and a one-way road from Dighuli Pukhuri to MN Road and further to Lakhtokia Flyover. There is a need to improve the public realm along the road, especially pedestrian movement and on-street parking. It is also identified as one of major 24m wide road in the DP and hence needs to be considered for improvements.

9. AT Road - AT Road is an important arterial road for the city and the site and hence needs to be improved.

10. MN Road and 11. Ariz Path - These are the important connections between MG Road and GNB Road and eventually connecting MG Road to the station area and hence needs to be considered for improvement.

12 - Bhuban Road- To complete the arterial road network, improvement of the connectivity was suggested to Bhuban road which connects MG road and MC road.

In the east completion of the connection of Bhuban road to Ariz Path which further leads to Sahityarathi Lakshminath Bezbaroa Chowk and hence needs to be improved.

13. Fayeze Ahmed - The only road which can act as a sub arterial road with the new proposal of the bridge and that is vertically connecting MG road and AT road is Fayeze Ahmed road and hence needs to be improved.

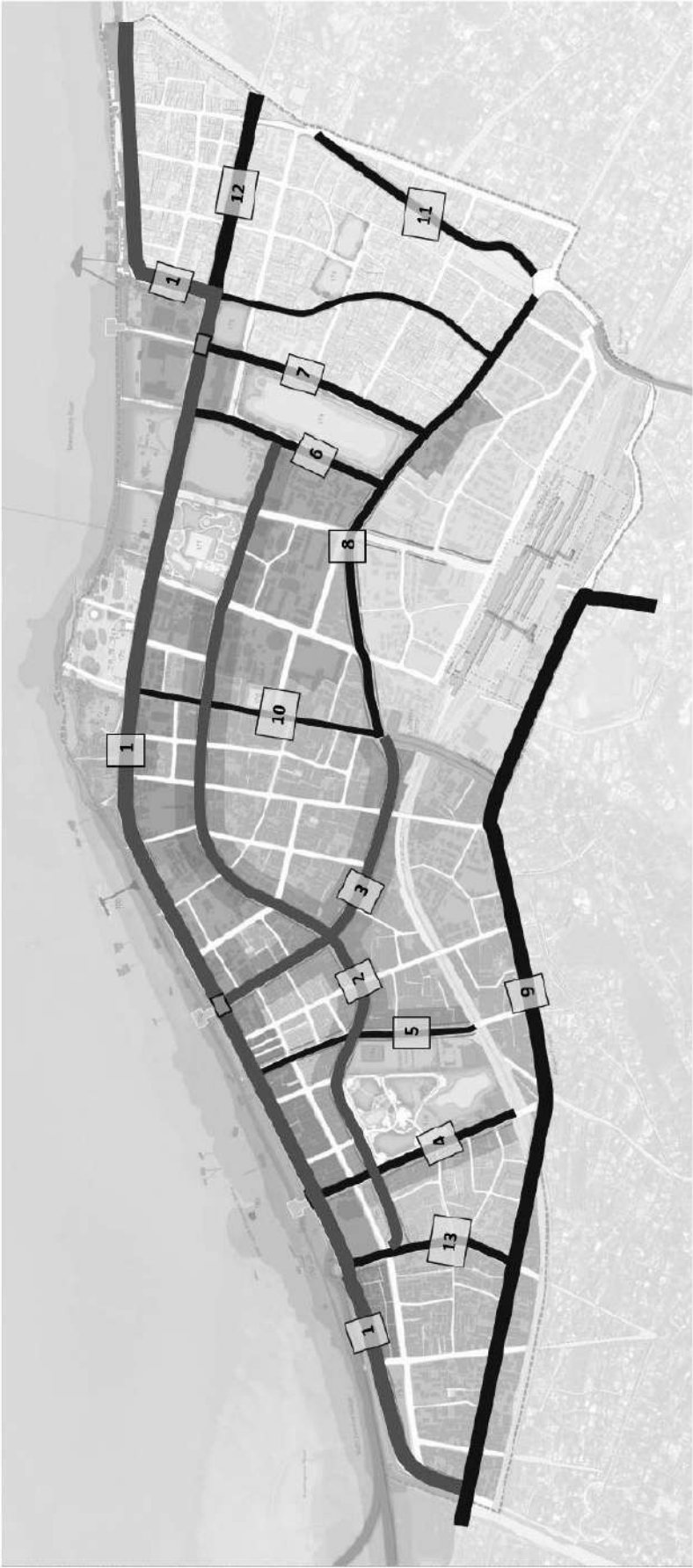
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Short term - High priority - Street improvement of Major Roads -

- 1. MG Road - sidewalk and street improvement
- 2. Jail Road - sidewalk and street improvement
- 3. SS Road - Part time pedestrianization and street improvement

Long term - Widening and redesign of identified major roads through incentive based redevelopment in the LAP area. Development of additional new streets through incentivised redevelopment to improve walkability in the LAP area -

- 1. MG Road
- 2. Jail Road
- 3. SS Road
- 4. Kedar Road
- 5. MS Road
- 6. Dighuli Pukhuri Road
- 7. Tayabulla Road
- 8. GNB Road
- 9. Assam Trunk Road
- 10. MN Road



Map 2: Maps highlighting projects for improvement in network and connectivity

LOCAL AREA PLAN FOR GUWAHATI CENTRAL AREA TOD : PROPOSALS AND PROJECTS

11. Ariz Path

12. Bhuban Road

13. Fayeze Ahmed Road

14. Table Top Junctions

Tentative Costing for the following projects is highlighted in the table below:

Road Name	Length (in m)	Existing Width (in m)	Proposed Width (in m)	Additional Width (in m)	Quantity	Total Proposed Area (sq.m)	Cost per sq.m	Tentative Cost (Rs)	Tentative Cost (in Cr.)
Short term									
MG Road	3932	21				82572	3000	247,716,000	24.77
Jail Road	2203	14				30842	3000	92,526,000	9.25
SS Road	847	12				10164	3000	30,492,000	3.05
Total								370,734,000	37.0734

Table 1: Maps highlighting the projects already considered for implementation for short term

Road Name	Length (in m)	Existing Width (in m)	Proposed Width (in m)	Additional Width (in m)	Quantity	Total Proposed Area (sq.m)	Cost per sq.m	Tentative Cost (Rs)	Tentative Cost (in Cr.)
Long term									
MG Road	3932		30	9		35388	3500	123,858,000	12.39
Jail Road	2203		18	4		8812	3000	26,436,000	2.64
SS Road	847		18	6		5082	3000	15,246,000	1.52
Kedar Road	904		18			16272	2500	40,680,000	4.07
Assam Trunk Road	2405		30			72150	2500	180,375,000	18.04
MS Road	570		15			8550	2500	21,375,000	2.14
Dighuli Pukhuri Road	402		18			7236	2500	18,090,000	1.81
Tayabulla Road	470		18			8460	2500	21,150,000	2.12
GNB Road	1428		30			42840	2500	107,100,000	10.71
MN Road	604		15			9060	2500	22,650,000	2.27
Ariz Path	657		24			15768	1500	23,652,000	2.37
Bhuban Road	505		30			15150	2500	37,875,000	3.79
Fayeze Ahmed Road	440		18			7920	2500	19,800,000	1.98
Lamb Road	617		15			9255	2500	23,137,500	2.31
Total								681,424,500	68.14

Table 1: Maps highlighting the projects already considered for implementation for long term

The maps, proposals and information presented in this report are based on preliminary data and observations. These will be revised upon completion of the detailed survey, base map and availability of detailed datasets.

2. Green and Blue Network -

Redevelopment of Riverfront - The Riverfront has the potential to become a hotspot for the people of Guwahati and generate revenue through tourism. There is a proposal for the Brahmaputra Riverfront by Smart City Limited. The existing riverfront lacks thorough accessibility and visitor friendly-design. Thus, it needs to be upgraded to become a vibrant and beautiful place for people to enjoy. This project needs to be done in parts. Hence, all the ghats need to be taken separately. The riverfront projects are indentified in the list.

Making the riverfront accessible from other important landmarks in the area -

1. Provision of Plazas
2. Floating Jetty (developed by IWT)

Bicycle network connecting the riverfront along MG Road from Bharalu Bridge - Veer Lachit Statue - Jetty (developed by IWT) - Sukleshwar Ghat - Heritage Center - Ropeway - Uzan Bazaar - Smart City Project.

Redevelopment and rejuvenation of all greens and blues in the area and making them accessible -

1. Dighuli Pukhuri - The pukhuri is historically well-known and an important destination for the people of Guwahati to go. It has the potential for an active promenade. Thus, may be developed as a city-level recreational space.

2. Padam Pukhuri - It is important to remove dilapidated and other institutional buildings from the Padam Pukhuri area like CP Bungalow, Zilla Parishad and SBI Building

and developing the whole site and giving the back to the city.

3. Jor Pukhuri - Soil erosion has affected both the ponds and hence to preserve the existing blues it is important that these twin ponds are considered for rejuvenation.

4. Nehru Park - Remodeling of the Nehru park is essential keeping the existing biodiversity intact while providing well-lit pathways, seating arrangements as well as playing areas for children in the park.

5. Botanical Garden - Botanical garden is one of the important tourist destination of the area

6. Nag Kata Pukhuri - It is one of the neglected blues within the site area and hence needs to be connected with all the other greens and blues of the site area

7. Latasil Playground and 8. Machkowa Idgah Field - These two are the important greens within the LAP area used for recreational purposes and hence needs to be maintained for the same.

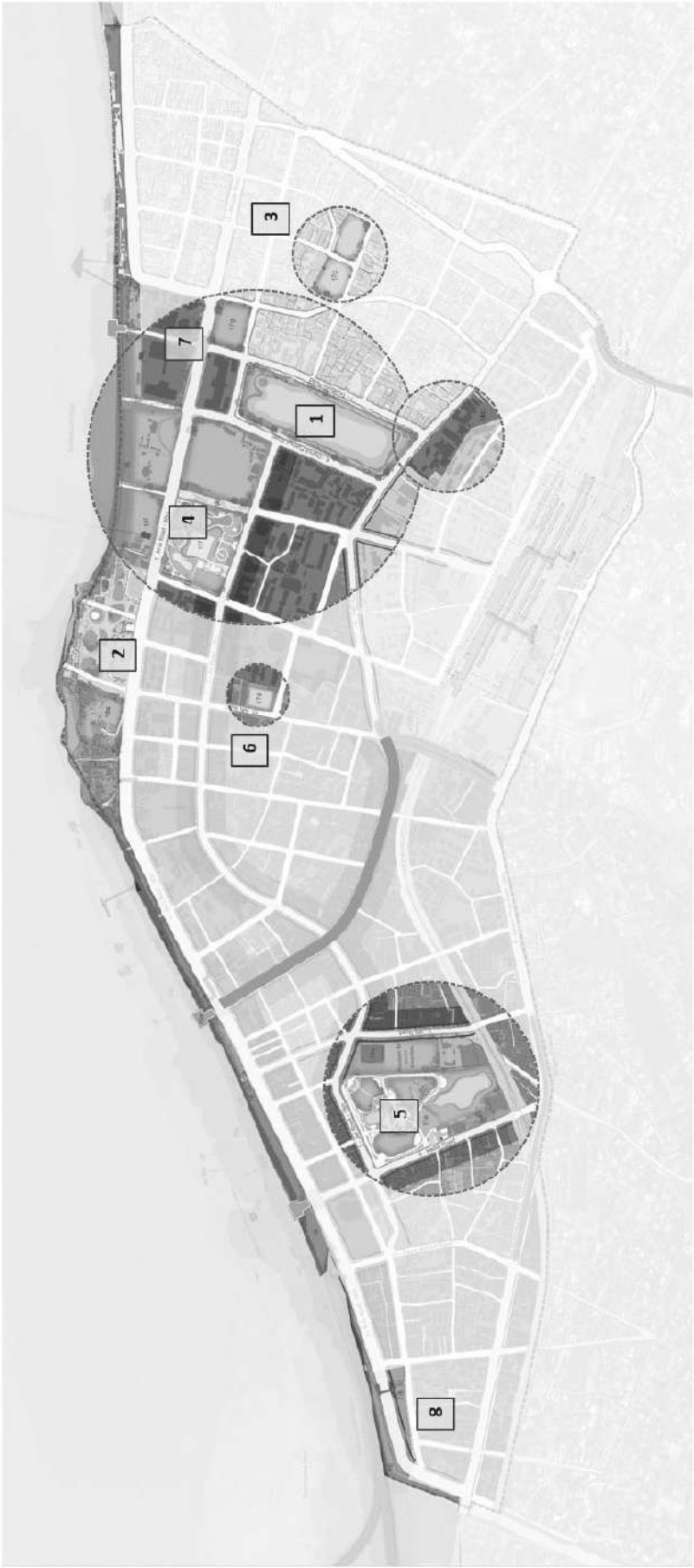
Detailed DPR will be prepared for all sanctioned projects and the costing of all these projects will be the part of the same.



Figure 3: Onsite Images of Padam Pukhuri



Figure 4: 3D Visuals of the area showing the proposed scenario



Map 3: Maps highlighting the improvements in green and blue network

The maps, proposals and information presented in this report are based on preliminary data and observations. These will be revised upon completion of the detailed survey, base map and availability of detailed datasets.

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3. Heritage Precinct and Network -

Ambari excavation site, the Sukleswar Ghat the Heritage Conservation Centre, the Nabin Chandra Bordoloi Hall, the library (built as historic Assam type structure), statue of Vir Lachit Borphukan are some of the assets which can be integrated with the Blue and Green Network. Similar to the greens these historically important sites need to be preserved and well maintained.

Development and Restoration of Heritage Precincts and integrating the key destinations with consistent signage lighting, smart bicycle parking and tourist facilities -

- 1. Dighuli Pukhuri
- 2. Ambari Archaeological Site

- 3. Heritage Center
- 4. Veer Lachit Borphukan Statue
- 5. Assam State Museum
- 6. Ropeway



Map 4: Maps highlighting the development of heritage precinct

4. Parking and Vending -

Identification of Parking Management zones for managing on-street parking and Vending management Zones

1. Development of Parking beside the Botanical Garden
- As botanical garden is a prime tourist spot hence it is important to consider this site for Multilevel car park.

3. Redevelopment of Existing Multilevel car parking at MG Road

Identification of Sites for Mixed Use Parking Structures with active frontages at Potential locations including

2. Development of parking at Kedar Road and Jail Road Intersection

4. Improve access to parking at Nehru Park

5. Redevelopment of existing parking at the end of SS Road



Map 5: Maps highlighting the projects identified for parking

The maps, proposals and information presented in this report are based on preliminary data and observations. These will be revised upon completion of the detailed survey, base map and availability of detailed datasets.

Land Appropriation Form (Under Special Provisions for LAP Section 50(A) - Subsection (3)(g))						
EXISTING PLOT (EP)				REVISED PLOT (RP)		
Sr.No	Existing Village Number	Existing Plot Number	Land area for Existing Plot (EP) in Sq.m	Land Area to be appropriated in Public Domain (Plot Deduction) in sq.m	Revised Plot Area (RP) in Sq.m	Proposed Zone under LAP
1	Chahar Guwahati Part 1	591	1737.09	261.87	1475.23	Transportation
2	Chahar Guwahati Part 1	229	430.01	196.49	233.52	Commercial Mixed Use Zone
3	Chahar Guwahati Part 1	590	6223.05	841.77	5381.28	Transportation
4	Chahar Guwahati Part 1	228	681.90	173.95	507.95	Transportation
5	Chahar Guwahati Part 1	591	3321.65	724.85	2596.80	Transportation
6	Chahar Guwahati Part5	556	429.31	99.19	330.12	Station Development Zone
7	Chahar Guwahati Part5	525	1033.56	297.12	736.44	Station Development Zone
8	Chahar Guwahati Part5	399	2192.88	533.57	1659.31	Station Development Zone
9	Chahar Guwahati Part5	398	4440.97	753.75	3687.23	Station Development Zone
10	Chahar Guwahati Part5	555	509.99	24.33	485.66	Station Development Zone
11	Chahar Guwahati Part5	558	9361.74	505.25	8856.49	Station Development Zone
12	Chahar Guwahati Part5	554	11787.41	1048.25	10739.16	Station Development Zone
13	Chahar Guwahati Part5	397	6155.15	918.16	5236.99	Station Development Zone
14	Chahar Guwahati Part5	526	1705.56	0.00	1705.56	Station Development Zone
15	Chahar Guwahati Part5	395	1548.67	408.63	1140.04	Station Development Zone
16	Chahar Guwahati Part5	394	524.00	295.56	228.44	Station Development Zone
17	Chahar Guwahati Part5	398	8439.23	0.00	8439.23	Station Development Zone
18	Chahar Guwahati Part5	596	1996.06	602.98	1393.08	Station Development Zone
19	Chahar Guwahati Part5	382	4503.94	0.00	4503.94	Transportation
20	Chahar Guwahati Part5	380	1000.43	0.00	1000.43	Station Development Zone
21	Chahar Guwahati Part5	585	783.85	0.00	783.85	Station Development Zone
22	Chahar Guwahati Part5	308	7430.42	0.00	7430.42	Transportation
23	Chahar Guwahati Part5	307	2253.83	0.00	2253.83	Transportation
24	Chahar Guwahati Part5	379	1338.05	336.79	1001.26	Station Development Zone
25	Chahar Guwahati Part5	373	793.57	64.73	728.84	Station Development Zone
26	Chahar Guwahati Part5	370	235.71	215.57	20.14	Station Development Zone
27	Chahar Guwahati Part5	374	819.70	557.17	262.53	Station Development Zone
28	Chahar Guwahati Part5	369	299.13	95.52	203.61	Station Development Zone
29	Chahar Guwahati Part5	381	69121.99	84.14	69037.84	Transportation
30	Chahar Guwahati Part5	366	651.22	65.78	585.44	Station Development Zone

31	Chahar Guwahati Part5	367	300.58	16.13	284.45	Station Development Zone
32	Chahar Guwahati Part5	368	261.67	18.08	243.59	Station Development Zone
33	Chahar Guwahati Part5	375	805.83	30.17	775.66	Station Development Zone
34	Chahar Guwahati Part5	375	206.85	15.21	191.63	Station Development Zone
35	Chahar Guwahati Part5	362	1815.72	2.64	1813.08	Station Development Zone
36	Chahar Guwahati Part5	344	413.44	4.58	408.87	Station Development Zone
37	Chahar Guwahati Part5	343	385.80	21.61	364.19	Station Development Zone
38	Chahar Guwahati Part5	342	290.14	12.23	277.91	Station Development Zone
39	Chahar Guwahati Part5	341	217.77	7.45	210.32	Station Development Zone
40	Chahar Guwahati Part5	340	416.98	19.14	397.83	Station Development Zone
41	Chahar Guwahati Part5	339	793.88	34.96	758.92	Station Development Zone
42	Chahar Guwahati Part5	354	522.03	110.85	411.18	Station Development Zone
43	Chahar Guwahati Part5	338	891.02	0.00	891.02	Station Development Zone
44	Chahar Guwahati Part5	353	514.01	10.32	503.70	Station Development Zone
45	Chahar Guwahati Part5	337	389.55	0.06	389.49	Station Development Zone
46	Chahar Guwahati Part5	335	28.45	0.05	28.39	Station Development Zone
47	Chahar Guwahati Part5	352	332.85	0.00	332.85	Station Development Zone
48	Chahar Guwahati Part5	335	506.63	0.00	506.63	Station Development Zone
49	Chahar Guwahati Part5	334	112.87	0.24	112.62	Station Development Zone
50	Chahar Guwahati Part5	351	491.83	0.00	491.83	Station Development Zone
51	Chahar Guwahati Part5	333	965.22	2.89	962.33	Station Development Zone
52	Chahar Guwahati Part5	350	832.67	0.00	832.67	Station Development Zone
53	Chahar Guwahati Part5	330	1194.63	3.81	1190.82	Station Development Zone
54	Chahar Guwahati Part5	283	188.25	79.91	108.34	Commercial Mixed Use Zone
55	Chahar Guwahati Part5	310	19105.15	935.70	18169.45	Station Development Zone
56	Chahar Guwahati Part5	282	178.67	18.74	159.93	Commercial Mixed Use Zone
57	Chahar Guwahati Part5	285	104.62	28.26	76.36	Commercial Mixed Use Zone
58	Chahar Guwahati Part5	356	1830.28	595.12	1235.16	Station Development Zone
59	Chahar Guwahati Part5	378	75827.08	8677.64	67149.44	Station Development Zone
60	Chahar Guwahati Part5	355	7033.93	2097.57	4936.35	Station Development Zone
61	Chahar Guwahati Part5	281	321.27	24.27	297.00	Commercial Mixed Use Zone
62	Chahar Guwahati Part5	349	1900.69	0.00	1900.69	Station Development Zone
63	Chahar Guwahati Part5	286	210.71	0.00	210.71	Commercial Mixed Use Zone
64	Chahar Guwahati Part5	609	117.22	0.00	117.22	Station Development Zone
65	Chahar Guwahati Part5	329	1232.11	4.41	1227.70	Station Development Zone
66	Chahar Guwahati Part5	348	917.47	35.79	881.68	Station Development Zone
67	Chahar Guwahati Part5	328	931.90	0.00	931.90	Station Development Zone
68	Chahar Guwahati Part5	323	663.54	0.00	663.54	Station Development Zone
69	Chahar Guwahati Part5	315	1341.30	73.95	1267.34	Station Development Zone
70	Chahar Guwahati Part5	279	545.11	20.21	524.90	Commercial Mixed Use Zone
71	Chahar Guwahati Part5	316	294.40	0.00	294.40	Station Development Zone

72	Chahar Guwahati Part5	327	21498.56	2089.08	19409.48	Station Development Zone
73	Chahar Guwahati Part5	325	3044.56	278.36	2766.20	Public and Semi Public Zone
74	Chahar Guwahati Part5	610	151.41	0.00	151.41	Public and Semi Public Zone
75	Chahar Guwahati Part5	601	727.62	0.00	727.62	Public and Semi Public Zone
76	Chahar Guwahati Part5	320	1141.89	2.69	1139.20	Station Development Zone
77	Chahar Guwahati Part5	278	446.30	13.05	433.25	Commercial Mixed Use Zone
78	Chahar Guwahati Part5	288	597.77	25.68	572.09	Commercial Mixed Use Zone
79	Chahar Guwahati Part5	289	420.31	16.58	403.73	Commercial Mixed Use Zone
80	Chahar Guwahati Part5	325	2347.04	0.00	2347.04	Public and Semi Public Zone
81	Chahar Guwahati Part5	291	714.67	65.00	649.67	Commercial Mixed Use Zone
82	Chahar Guwahati Part5	295	371.68	36.19	335.49	Commercial Mixed Use Zone
83	Chahar Guwahati Part5	324	3274.05	0.00	3274.05	Public and Semi Public Zone
84	Chahar Guwahati Part5	296	426.45	46.97	379.48	Commercial Mixed Use Zone
85	Chahar Guwahati Part5	297	454.73	63.86	390.87	Commercial Mixed Use Zone
86	Chahar Guwahati Part5	276	394.99	4.02	390.97	Commercial Mixed Use Zone
87	Chahar Guwahati Part5	275	402.38	1.85	400.53	Commercial Mixed Use Zone
88	Chahar Guwahati Part5	274	301.53	1.04	300.49	Commercial Mixed Use Zone
89	Chahar Guwahati Part5	217	1136.20	0.11	1136.10	Residential Mixed Use Zone
90	Chahar Guwahati Part5	220	723.74	0.32	723.42	Residential Mixed Use Zone
91	Chahar Guwahati Part5	273	480.48	1.37	479.11	Commercial Mixed Use Zone
92	Chahar Guwahati Part5	219	856.54	0.00	856.54	Residential Mixed Use Zone
93	Chahar Guwahati Part5	322	7611.52	0.00	7611.52	Public and Semi Public Zone
94	Chahar Guwahati Part5	298	637.34	87.67	549.67	Commercial Mixed Use Zone
95	Chahar Guwahati Part5	272	354.03	0.16	353.87	Commercial Mixed Use Zone
96	Chahar Guwahati Part5	271	256.10	0.00	256.10	Commercial Mixed Use Zone
97	Chahar Guwahati Part5	214	937.88	0.00	937.88	Residential Mixed Use Zone
98	Chahar Guwahati Part5	270	312.19	0.00	312.19	Commercial Mixed Use Zone
99	Chahar Guwahati Part5	321	1636.41	33.00	1603.41	Public and Semi Public Zone
100	Chahar Guwahati Part5	269	217.41	0.00	217.41	Commercial Mixed Use Zone
101	Chahar Guwahati Part5	319	160.56	117.00	43.57	Public and Semi Public Zone
102	Chahar Guwahati Part5	236	250.61	0.00	250.61	Residential Mixed Use Zone
103	Chahar Guwahati Part5	268	493.11	0.00	493.11	Commercial Mixed Use Zone
104	Chahar Guwahati Part5	318	3834.95	463.89	3371.06	Station Development Zone
105	Chahar Guwahati Part5	267	285.82	0.70	285.12	Commercial Mixed Use Zone
106	Chahar Guwahati Part5	317	3782.14	74.14	3708.00	Station Development Zone
107	Chahar Guwahati Part5	235	257.62	4.18	253.43	Residential Mixed Use Zone
108	Chahar Guwahati Part5	299	30698.39	1915.92	28782.47	Station Development Zone
109	Chahar Guwahati Part5	314	6134.42	412.06	5722.36	Station Development Zone
110	Chahar Guwahati Part5	216	1507.45	13.59	1493.85	Residential Mixed Use Zone
111	Chahar Guwahati Part5	215	567.18	0.00	567.18	Residential Mixed Use Zone
112	Chahar Guwahati Part5	221	603.32	0.00	603.32	Residential Mixed Use Zone

113	Chahar Guwahati Part5	224	1110.26	7.62	1102.64	Residential Mixed Use Zone
114	Chahar Guwahati Part5	234	251.21	12.69	238.52	Residential Mixed Use Zone
115	Chahar Guwahati Part5	227	817.51	26.99	790.52	Residential Mixed Use Zone
116	Chahar Guwahati Part5	225	939.15	16.80	922.35	Residential Mixed Use Zone
117	Chahar Guwahati Part5	266	1776.07	288.90	1487.17	Commercial Mixed Use Zone
118	Chahar Guwahati Part5	212	351.74	0.00	351.74	Residential Mixed Use Zone
119	Chahar Guwahati Part5	233	260.44	18.56	241.88	Residential Mixed Use Zone
120	Chahar Guwahati Part5	211	253.53	1.53	252.00	Residential Mixed Use Zone
121	Chahar Guwahati Part5	583	70.42	0.00	70.42	Residential Mixed Use Zone
122	Chahar Guwahati Part5	245	2825.49	37.97	2787.52	Recreational and Green Open Spaces
123	Chahar Guwahati Part5	232	552.86	51.83	501.03	Residential Mixed Use Zone
124	Chahar Guwahati Part5	230	1594.33	0.00	1594.33	Residential Mixed Use Zone
125	Chahar Guwahati Part5	229	880.10	0.00	880.10	Residential Mixed Use Zone
126	Chahar Guwahati Part5	228	817.92	117.97	699.94	Residential Mixed Use Zone
127	Chahar Guwahati Part5	223	591.67	0.00	591.67	Residential Mixed Use Zone
128	Chahar Guwahati Part5	222	634.13	0.00	634.13	Residential Mixed Use Zone
129	Chahar Guwahati Part5	214	647.90	0.00	647.90	Residential Mixed Use Zone
130	Chahar Guwahati Part5	209	667.49	19.23	648.26	Residential Mixed Use Zone
131	Chahar Guwahati Part5	217	543.20	0.00	543.20	Residential Mixed Use Zone
132	Chahar Guwahati Part5	231	463.84	52.45	411.39	Residential Mixed Use Zone
133	Chahar Guwahati Part5	166	626.69	0.00	626.69	Residential Mixed Use Zone
134	Chahar Guwahati Part5	208	989.42	47.22	942.19	Residential Mixed Use Zone
135	Chahar Guwahati Part5	162	1967.76	0.00	1967.76	Residential Mixed Use Zone
136	Chahar Guwahati Part5	164	211.62	0.00	211.62	Residential Mixed Use Zone
137	Chahar Guwahati Part5	161	3447.59	320.00	3127.59	Residential Mixed Use Zone
138	Chahar Guwahati Part5	169	121.29	0.00	121.29	Residential Mixed Use Zone
139	Chahar Guwahati Part5	168	128.62	0.00	128.62	Residential Mixed Use Zone
140	Chahar Guwahati Part5	170	265.73	0.00	265.73	Residential Mixed Use Zone
141	Chahar Guwahati Part5	167	149.27	0.00	149.27	Residential Mixed Use Zone
142	Chahar Guwahati Part5	166	54.64	0.00	54.64	Residential Mixed Use Zone
143	Chahar Guwahati Part5	594	461.87	65.14	396.73	Residential Mixed Use Zone
144	Chahar Guwahati Part5	160	548.18	0.00	548.18	Residential Mixed Use Zone
145	Chahar Guwahati Part5	181	128.32	0.00	128.32	Residential Mixed Use Zone
146	Chahar Guwahati Part5	165	197.29	0.00	197.29	Residential Mixed Use Zone
147	Chahar Guwahati Part5	171	265.84	0.00	265.84	Residential Mixed Use Zone
148	Chahar Guwahati Part5	253	4806.60	269.91	4536.69	Public and Semi Public Zone
149	Chahar Guwahati Part5	207	1314.64	35.05	1279.60	Residential Mixed Use Zone
150	Chahar Guwahati Part5	146	378.20	52.84	325.36	Residential Mixed Use Zone
151	Chahar Guwahati Part5	145	351.42	49.05	302.37	Residential Mixed Use Zone
152	Chahar Guwahati Part5	180	194.09	0.00	194.09	Residential Mixed Use Zone
153	Chahar Guwahati Part5	183	59.76	0.00	59.76	Residential Mixed Use Zone

154	Chahar Guwahati Part5	579	100.16	0.00	100.16	Residential Mixed Use Zone
155	Chahar Guwahati Part5	179	240.89	0.00	240.89	Residential Mixed Use Zone
156	Chahar Guwahati Part5	182	374.17	0.00	374.17	Residential Mixed Use Zone
157	Chahar Guwahati Part5	153	115.65	59.57	56.08	Residential Mixed Use Zone
158	Chahar Guwahati Part5	154	132.55	0.00	132.55	Residential Mixed Use Zone
159	Chahar Guwahati Part5	155	89.12	0.00	89.12	Residential Mixed Use Zone
160	Chahar Guwahati Part5	156	86.64	0.00	86.64	Residential Mixed Use Zone
161	Chahar Guwahati Part5	157	91.23	0.00	91.23	Residential Mixed Use Zone
162	Chahar Guwahati Part5	158	87.23	0.00	87.23	Residential Mixed Use Zone
163	Chahar Guwahati Part5	159	116.12	0.00	116.12	Residential Mixed Use Zone
164	Chahar Guwahati Part5	185	181.01	0.00	181.01	Residential Mixed Use Zone
165	Chahar Guwahati Part5	204	794.50	30.47	764.03	Residential Mixed Use Zone
166	Chahar Guwahati Part5	178	238.50	0.00	238.50	Residential Mixed Use Zone
167	Chahar Guwahati Part5	144	375.44	50.66	324.79	Residential Mixed Use Zone
168	Chahar Guwahati Part5	172	301.94	0.00	301.94	Residential Mixed Use Zone
169	Chahar Guwahati Part5	151	388.67	52.92	335.75	Residential Mixed Use Zone
170	Chahar Guwahati Part5	150	101.47	0.00	101.47	Residential Mixed Use Zone
171	Chahar Guwahati Part5	149	102.17	0.00	102.17	Residential Mixed Use Zone
172	Chahar Guwahati Part5	148	135.41	0.00	135.41	Residential Mixed Use Zone
173	Chahar Guwahati Part5	189	122.57	0.00	122.57	Residential Mixed Use Zone
174	Chahar Guwahati Part5	188	123.83	0.00	123.83	Residential Mixed Use Zone
175	Chahar Guwahati Part5	177	195.04	0.00	195.04	Residential Mixed Use Zone
176	Chahar Guwahati Part5	184	489.49	0.00	489.49	Residential Mixed Use Zone
177	Chahar Guwahati Part5	186	380.04	3.69	376.36	Residential Mixed Use Zone
178	Chahar Guwahati Part5	187	116.01	0.00	116.01	Residential Mixed Use Zone
179	Chahar Guwahati Part5	191	116.74	0.00	116.74	Residential Mixed Use Zone
180	Chahar Guwahati Part5	203	772.32	35.10	737.22	Residential Mixed Use Zone
181	Chahar Guwahati Part5	194	97.24	0.00	97.24	Residential Mixed Use Zone
182	Chahar Guwahati Part5	176	232.67	0.00	232.67	Residential Mixed Use Zone
183	Chahar Guwahati Part5	193	68.44	0.00	68.44	Residential Mixed Use Zone
184	Chahar Guwahati Part5	192	187.93	0.00	187.93	Residential Mixed Use Zone
185	Chahar Guwahati Part5	588	138.53	9.07	129.47	Residential Mixed Use Zone
186	Chahar Guwahati Part5	139	744.66	11.39	733.26	Residential Mixed Use Zone
187	Chahar Guwahati Part5	592	558.48	10.68	547.80	Residential Mixed Use Zone
188	Chahar Guwahati Part5	140	690.90	172.47	518.43	Residential Mixed Use Zone
189	Chahar Guwahati Part5	142	689.97	123.16	566.81	Residential Mixed Use Zone
190	Chahar Guwahati Part5	138	1614.48	156.25	1458.23	Residential Mixed Use Zone
191	Chahar Guwahati Part5	143	930.74	8.65	922.08	Residential Mixed Use Zone
192	Chahar Guwahati Part5	173	531.82	10.00	521.82	Residential Mixed Use Zone
193	Chahar Guwahati Part5	196	220.32	2.53	217.79	Residential Mixed Use Zone
194	Chahar Guwahati Part5	197	211.31	2.85	208.46	Residential Mixed Use Zone

195	Chahar Guwahati Part5	175	245.58	13.92	231.66	Residential Mixed Use Zone
196	Chahar Guwahati Part5	198	387.75	3.87	383.87	Residential Mixed Use Zone
197	Chahar Guwahati Part5	201	400.98	6.95	394.02	Residential Mixed Use Zone
198	Chahar Guwahati Part5	202	477.98	50.72	427.26	Residential Mixed Use Zone
199	Chahar Guwahati Part5	134	271.79	57.73	214.06	Residential Mixed Use Zone
200	Chahar Guwahati Part5	199	280.67	18.01	262.65	Residential Mixed Use Zone
201	Chahar Guwahati Part5	132	346.46	13.85	332.61	Residential Mixed Use Zone
202	Chahar Guwahati Part5	200	363.09	67.59	295.50	Residential Mixed Use Zone
203	Chahar Guwahati Part5	133	506.93	23.73	483.20	Residential Mixed Use Zone
204	Chahar Guwahati Part5	122	323.42	13.29	310.13	Residential Mixed Use Zone
205	Chahar Guwahati Part5	121	520.38	32.55	487.84	Residential Mixed Use Zone
206	Chahar Guwahati Part5	129	434.50	12.42	422.08	Residential Mixed Use Zone
207	Chahar Guwahati Part5	128	478.61	12.78	465.82	Residential Mixed Use Zone
208	Chahar Guwahati Part5	125	587.41	11.25	576.16	Residential Mixed Use Zone
209	Chahar Guwahati Part5	127	637.33	14.91	622.42	Residential Mixed Use Zone
210	Chahar Guwahati Part5	126	596.37	10.47	585.90	Residential Mixed Use Zone
211	Chahar Guwahati Part5	130	1262.99	33.32	1229.67	Residential Mixed Use Zone
212	Chahar Guwahati Part5	124	592.09	13.47	578.62	Residential Mixed Use Zone
213	Chahar Guwahati Part5	104	1674.09	103.66	1570.43	Residential Mixed Use Zone
214	Chahar Guwahati Part5	131	503.66	4.33	499.33	Residential Mixed Use Zone
215	Chahar Guwahati Part5	123	771.56	21.85	749.70	Residential Mixed Use Zone
216	Chahar Guwahati Part5	120	591.85	21.59	570.26	Residential Mixed Use Zone
217	Chahar Guwahati Part5	108	618.31	0.00	618.31	Residential Mixed Use Zone
218	Chahar Guwahati Part5	260	34630.71	1155.49	33475.22	Public and Semi Public Zone
219	Chahar Guwahati Part5	252	5790.62	280.17	5510.45	Public and Semi Public Zone
220	Chahar Guwahati Part5	111	280.22	0.00	280.22	Residential Mixed Use Zone
221	Chahar Guwahati Part5	112	353.79	0.00	353.79	Residential Mixed Use Zone
222	Chahar Guwahati Part5	113	346.69	0.00	346.69	Residential Mixed Use Zone
223	Chahar Guwahati Part5	105	384.40	0.00	384.40	Residential Mixed Use Zone
224	Chahar Guwahati Part5	240	874.92	73.91	801.01	Residential Mixed Use Zone
225	Chahar Guwahati Part5	114	262.17	0.00	262.17	Residential Mixed Use Zone
226	Chahar Guwahati Part5	109	338.78	0.00	338.78	Residential Mixed Use Zone
227	Chahar Guwahati Part5	107	416.43	0.00	416.43	Residential Mixed Use Zone
228	Chahar Guwahati Part5	106	446.13	0.00	446.13	Residential Mixed Use Zone
229	Chahar Guwahati Part5	119	791.90	14.44	777.46	Residential Mixed Use Zone
230	Chahar Guwahati Part5	110	377.56	0.00	377.56	Residential Mixed Use Zone
231	Chahar Guwahati Part5	259	13595.39	1009.78	12585.61	Public and Semi Public Zone
232	Chahar Guwahati Part5	116	1223.55	0.00	1223.55	Residential Mixed Use Zone
233	Chahar Guwahati Part5	94	169.44	0.00	169.44	Residential Mixed Use Zone
234	Chahar Guwahati Part5	599	169.19	0.00	169.19	Residential Mixed Use Zone
235	Chahar Guwahati Part5	117	287.26	0.00	287.26	Residential Mixed Use Zone

236	Chahar Guwahati Part5	102	241.29	38.54	202.75	Residential Mixed Use Zone
237	Chahar Guwahati Part5	598	161.80	0.00	161.80	Residential Mixed Use Zone
238	Chahar Guwahati Part5	118	523.05	9.49	513.56	Residential Mixed Use Zone
239	Chahar Guwahati Part5	95	444.22	0.00	444.22	Residential Mixed Use Zone
240	Chahar Guwahati Part5	93	318.96	0.00	318.96	Residential Mixed Use Zone
241	Chahar Guwahati Part5	88	578.46	0.00	578.46	Residential Mixed Use Zone
242	Chahar Guwahati Part5	0	122.47	0.00	122.47	Residential Mixed Use Zone
243	Chahar Guwahati Part5	92	256.37	0.00	256.37	Residential Mixed Use Zone
244	Chahar Guwahati Part5	100	228.36	44.13	184.23	Residential Mixed Use Zone
245	Chahar Guwahati Part5	101	39.71	0.00	39.71	Residential Mixed Use Zone
246	Chahar Guwahati Part5	597	151.78	0.00	151.78	Residential Mixed Use Zone
247	Chahar Guwahati Part5	251	22010.57	344.56	21666.00	Public and Semi Public Zone
248	Chahar Guwahati Part5	99	134.64	26.98	107.66	Residential Mixed Use Zone
249	Chahar Guwahati Part5	98	30.32	0.00	30.32	Residential Mixed Use Zone
250	Chahar Guwahati Part5	85	501.53	0.00	501.53	Residential Mixed Use Zone
251	Chahar Guwahati Part5	86	421.29	0.00	421.29	Residential Mixed Use Zone
252	Chahar Guwahati Part5	83	507.59	0.00	507.59	Residential Mixed Use Zone
253	Chahar Guwahati Part5	90	134.63	0.00	134.63	Residential Mixed Use Zone
254	Chahar Guwahati Part5	84	495.06	0.00	495.06	Residential Mixed Use Zone
255	Chahar Guwahati Part5	97	342.46	0.00	342.46	Residential Mixed Use Zone
256	Chahar Guwahati Part5	249	2674.08	214.61	2459.46	Public and Semi Public Zone
257	Chahar Guwahati Part5	82	1056.51	15.82	1040.69	Residential Mixed Use Zone
258	Chahar Guwahati Part5	87	554.60	0.00	554.60	Residential Mixed Use Zone
259	Chahar Guwahati Part5	91	553.01	0.00	553.01	Residential Mixed Use Zone
260	Chahar Guwahati Part5	33	141.31	9.20	132.11	Recreational and Green Open Spaces
261	Chahar Guwahati Part5	81	479.79	2.02	477.77	Residential Mixed Use Zone
262	Chahar Guwahati Part5	70	209.60	81.11	128.48	Residential Mixed Use Zone
263	Chahar Guwahati Part5	38	2684.55	6.33	2678.23	Recreational and Green Open Spaces
264	Chahar Guwahati Part5	71	204.09	35.15	168.94	Residential Mixed Use Zone
265	Chahar Guwahati Part5	72	564.05	104.18	459.87	Residential Mixed Use Zone
266	Chahar Guwahati Part5	73	260.38	51.32	209.06	Residential Mixed Use Zone
267	Chahar Guwahati Part5	74	371.12	43.54	327.57	Residential Mixed Use Zone
268	Chahar Guwahati Part5	80	716.43	0.00	716.43	Residential Mixed Use Zone
269	Chahar Guwahati Part5	75	319.64	48.01	271.62	Residential Mixed Use Zone
270	Chahar Guwahati Part5	76	342.91	48.79	294.11	Residential Mixed Use Zone
271	Chahar Guwahati Part5	584	504.60	0.00	504.60	Recreational and Green Open Spaces
272	Chahar Guwahati Part5	77	786.84	61.70	725.14	Residential Mixed Use Zone
273	Chahar Guwahati Part5	78	537.64	47.46	490.18	Residential Mixed Use Zone
274	Chahar Guwahati Part5	79	704.55	97.35	607.20	Residential Mixed Use Zone
275	Chahar Guwahati Part5	590	2219.33	61.91	2157.42	Recreational and Green Open Spaces
276	Chahar Guwahati Part5	65	692.10	215.46	476.64	Residential Mixed Use Zone

277	Chahar Guwahati Part5	62	497.84	55.27	442.57	Residential Mixed Use Zone
278	Chahar Guwahati Part5	63	306.42	38.22	268.20	Residential Mixed Use Zone
279	Chahar Guwahati Part5	69	4706.77	523.15	4183.62	Residential Mixed Use Zone
280	Chahar Guwahati Part5	37	3291.59	0.00	3291.59	Recreational and Green Open Spaces
281	Chahar Guwahati Part5	593	173.07	31.56	141.51	Residential Mixed Use Zone
282	Chahar Guwahati Part5	51	348.01	9.72	338.29	Residential Mixed Use Zone
283	Chahar Guwahati Part5	247	5919.70	1029.05	4890.65	Recreational and Green Open Spaces
284	Chahar Guwahati Part5	60	870.58	25.76	844.82	Residential Mixed Use Zone
285	Chahar Guwahati Part5	244	42231.99	9.04	42222.94	Recreational and Green Open Spaces
286	Chahar Guwahati Part5	239	3842.32	970.15	2872.17	Recreational and Green Open Spaces
287	Chahar Guwahati Part5	32	3522.93	300.64	3222.30	Recreational and Green Open Spaces
288	Chahar Guwahati Part5	59	918.94	17.57	901.37	Residential Mixed Use Zone
289	Chahar Guwahati Part5	57	1172.47	34.73	1137.74	Residential Mixed Use Zone
290	Chahar Guwahati Part5	58	5755.80	248.73	5507.07	Residential Mixed Use Zone
291	Chahar Guwahati Part5	243	5023.47	205.31	4818.16	Recreational and Green Open Spaces
292	Chahar Guwahati Part5	56	553.62	29.98	523.64	Residential Mixed Use Zone
293	Chahar Guwahati Part5	36	26717.68	932.67	25785.02	Recreational and Green Open Spaces
294	Chahar Guwahati Part5	34	3573.18	348.60	3224.58	Recreational and Green Open Spaces
295	Chahar Guwahati Part5	242	2202.24	42.69	2159.55	Recreational and Green Open Spaces
296	Chahar Guwahati Part5	53	2352.62	123.03	2229.59	Residential Mixed Use Zone
297	Chahar Guwahati Part5	55	906.59	33.56	873.03	Residential Mixed Use Zone
298	Chahar Guwahati Part5	52	330.99	38.66	292.32	Residential Mixed Use Zone
299	Chahar Guwahati Part5	54	626.25	35.82	590.43	Residential Mixed Use Zone
300	Chahar Guwahati Part5	51	1961.32	41.29	1920.03	Residential Mixed Use Zone
301	Chahar Guwahati Part5	611	510.24	208.94	301.30	Recreational and Green Open Spaces
302	Chahar Guwahati Part5	50	753.11	6.81	746.31	Residential Mixed Use Zone
303	Chahar Guwahati Part5	49	329.00	42.66	286.34	Residential Mixed Use Zone
304	Chahar Guwahati Part5	31	29862.61	1455.10	28407.50	Recreational and Green Open Spaces
305	Chahar Guwahati Part5	2	9439.74	790.13	8649.61	Recreational and Green Open Spaces
306	Chahar Guwahati Part5	29	12377.55	1425.62	10951.94	Public and Semi Public Zone
307	Chahar Guwahati Part5	3	7879.15	894.61	6984.54	Recreational and Green Open Spaces
308	Chahar Guwahati Part5	21	10207.51	1107.29	9100.22	Recreational and Green Open Spaces
309	Chahar Guwahati Part5	4	11319.59	965.39	10354.20	Recreational and Green Open Spaces
310	Chahar Guwahati Part5	7	12469.41	974.79	11494.62	Public and Semi Public Zone
311	Chahar Guwahati Part5	15	3577.96	821.74	2756.21	Public and Semi Public Zone
312	Chahar Guwahati Part5	14	758.45	146.93	611.52	Public and Semi Public Zone
313	Chahar Guwahati Part5	11	9656.91	505.56	9151.35	Public and Semi Public Zone
314	Chahar Guwahati Part5	8	9318.78	534.15	8784.62	Public and Semi Public Zone
315	Chahar Guwahati Part5	9	3935.88	1814.45	2121.43	Recreational and Green Open Spaces
316	Chahar Guwahati Part5	13	2615.17	396.87	2218.30	Public and Semi Public Zone
317	Chahar Guwahati Part5	290	321.03	15.39	305.64	Commercial Mixed Use Zone

318	Chahar Guwahati Part5	210	185.62	8.38	177.24	Residential Mixed Use Zone
319	Chahar Guwahati Part5	12	2981.32	4.56	2976.77	Public and Semi Public Zone
320	Chahar Guwahati Part5	6	6527.46	408.76	6118.70	Recreational and Green Open Spaces
321	Chahar Guwahati Part4	488	92.52	0.00	92.52	Commercial Mixed Use Zone
322	Chahar Guwahati Part4	595	87.75	58.09	29.65	Commercial Mixed Use Zone
323	Chahar Guwahati Part4	502	104.88	47.76	57.11	Commercial Mixed Use Zone
324	Chahar Guwahati Part4	585	23.99	0.00	23.99	Commercial Mixed Use Zone
325	Chahar Guwahati Part4	539	48.03	9.87	38.16	Commercial Mixed Use Zone
326	Chahar Guwahati Part4	499	157.76	27.60	130.16	Commercial Mixed Use Zone
327	Chahar Guwahati Part4	515	95.99	17.69	78.30	Commercial Mixed Use Zone
328	Chahar Guwahati Part4	500	101.12	15.15	85.96	Commercial Mixed Use Zone
329	Chahar Guwahati Part4	487	82.09	0.00	82.09	Commercial Mixed Use Zone
330	Chahar Guwahati Part4	503	279.31	0.00	279.31	Commercial Mixed Use Zone
331	Chahar Guwahati Part4	501	360.15	54.75	305.40	Commercial Mixed Use Zone
332	Chahar Guwahati Part4	489	655.83	68.93	586.90	Commercial Mixed Use Zone
333	Chahar Guwahati Part4	490	242.04	0.00	242.04	Commercial Mixed Use Zone
334	Chahar Guwahati Part4	491	202.80	0.00	202.80	Commercial Mixed Use Zone
335	Chahar Guwahati Part4	486	442.83	0.00	442.83	Commercial Mixed Use Zone
336	Chahar Guwahati Part4	506	270.05	0.00	270.05	Commercial Mixed Use Zone
337	Chahar Guwahati Part4	542	221.12	0.00	221.12	Commercial Mixed Use Zone
338	Chahar Guwahati Part4	498	445.54	5.56	439.98	Commercial Mixed Use Zone
339	Chahar Guwahati Part4	492	143.62	0.00	143.62	Commercial Mixed Use Zone
340	Chahar Guwahati Part4	497	61.42	0.00	61.42	Commercial Mixed Use Zone
341	Chahar Guwahati Part4	896	424.66	0.00	424.66	Commercial Mixed Use Zone
342	Chahar Guwahati Part4	495	120.88	0.00	120.88	Commercial Mixed Use Zone
343	Chahar Guwahati Part4	494	216.72	0.00	216.72	Commercial Mixed Use Zone
344	Chahar Guwahati Part4	484	290.54	0.00	290.54	Commercial Mixed Use Zone
345	Chahar Guwahati Part4	493	215.91	0.00	215.91	Commercial Mixed Use Zone
346	Chahar Guwahati Part4	485	262.84	0.00	262.84	Commercial Mixed Use Zone
347	Chahar Guwahati Part4	483	151.78	0.00	151.78	Commercial Mixed Use Zone
348	Chahar Guwahati Part4	546	478.08	5.31	472.77	Commercial Mixed Use Zone
349	Chahar Guwahati Part4	479	214.35	0.00	214.35	Commercial Mixed Use Zone
350	Chahar Guwahati Part4	478	114.41	0.00	114.41	Commercial Mixed Use Zone
351	Chahar Guwahati Part4	529	199.34	0.00	199.34	Commercial Mixed Use Zone
352	Chahar Guwahati Part4	477	100.42	0.00	100.42	Commercial Mixed Use Zone
353	Chahar Guwahati Part4	473	377.15	8.25	368.90	Commercial Mixed Use Zone
354	Chahar Guwahati Part4	474	448.55	0.50	448.05	Commercial Mixed Use Zone
355	Chahar Guwahati Part4	871	535.19	13.64	521.56	Commercial Mixed Use Zone
356	Chahar Guwahati Part4	870	463.40	5.42	457.98	Commercial Mixed Use Zone
357	Chahar Guwahati Part4	468	617.13	6.25	610.88	Commercial Mixed Use Zone
358	Chahar Guwahati Part4	467	1060.95	0.00	1060.95	Commercial Mixed Use Zone

359	Chahar Guwahati Part4	466	235.73	0.00	235.73	Commercial Mixed Use Zone
360	Chahar Guwahati Part4	465	1764.68	101.00	1663.68	Commercial Mixed Use Zone
361	Chahar Guwahati Part4	560	288.05	7.51	280.54	Commercial Mixed Use Zone
362	Chahar Guwahati Part4	568	59.93	0.00	59.93	Commercial Mixed Use Zone
363	Chahar Guwahati Part4	459	100.96	1.01	99.95	Commercial Mixed Use Zone
364	Chahar Guwahati Part4	464	9805.42	1176.22	8629.20	Transportation
365	Chahar Guwahati Part4	458	195.07	61.74	133.33	Commercial Mixed Use Zone
366	Chahar Guwahati Part4	461	28.07	0.00	28.07	Commercial Mixed Use Zone
367	Chahar Guwahati Part4	591	114.21	22.02	92.19	Commercial Mixed Use Zone
368	Chahar Guwahati Part4	457	112.84	24.75	88.08	Commercial Mixed Use Zone
369	Chahar Guwahati Part4	456	213.68	47.12	166.56	Commercial Mixed Use Zone
370	Chahar Guwahati Part4	462	3319.80	588.68	2731.12	Transportation
371	Chahar Guwahati Part4	455	288.51	53.65	234.87	Commercial Mixed Use Zone
372	Chahar Guwahati Part4	453	340.86	0.00	340.86	Commercial Mixed Use Zone
373	Chahar Guwahati Part4	454	777.13	132.68	644.45	Commercial Mixed Use Zone
374	Chahar Guwahati Part4	578	274.60	15.61	258.98	Commercial Mixed Use Zone
375	Chahar Guwahati Part4	438	829.35	55.82	773.53	Station Development Zone
376	Chahar Guwahati Part4	448	253.14	0.00	253.14	Commercial Mixed Use Zone
377	Chahar Guwahati Part4	477	258.04	0.00	258.04	Commercial Mixed Use Zone
378	Chahar Guwahati Part4	576	259.10	0.00	259.10	Commercial Mixed Use Zone
379	Chahar Guwahati Part4	462	2393.79	143.21	2250.58	Transportation
380	Chahar Guwahati Part4	450	223.30	62.81	160.49	Commercial Mixed Use Zone
381	Chahar Guwahati Part4	446	371.79	13.11	358.68	Commercial Mixed Use Zone
382	Chahar Guwahati Part4	558	574.52	50.41	524.11	Station Development Zone
383	Chahar Guwahati Part4	357	52.81	0.86	51.95	Commercial Mixed Use Zone
384	Chahar Guwahati Part4	436	818.92	0.00	818.92	Station Development Zone
385	Chahar Guwahati Part4	437	763.27	0.00	763.27	Station Development Zone
386	Chahar Guwahati Part4	356	26.08	1.16	24.92	Commercial Mixed Use Zone
387	Chahar Guwahati Part4	358	100.68	0.00	100.68	Commercial Mixed Use Zone
388	Chahar Guwahati Part4	360	1549.78	154.65	1395.13	Commercial Mixed Use Zone
389	Chahar Guwahati Part4	364	245.71	30.16	215.55	Commercial Mixed Use Zone
390	Chahar Guwahati Part4	353	35.60	1.94	33.66	Commercial Mixed Use Zone
391	Chahar Guwahati Part4	355	129.43	0.00	129.43	Commercial Mixed Use Zone
392	Chahar Guwahati Part4	361	373.11	58.93	314.18	Commercial Mixed Use Zone
393	Chahar Guwahati Part4	362	349.04	4.30	344.74	Commercial Mixed Use Zone
394	Chahar Guwahati Part4	354	137.13	0.00	137.13	Commercial Mixed Use Zone
395	Chahar Guwahati Part4	439	2738.97	140.50	2598.47	Station Development Zone
396	Chahar Guwahati Part4	533	227.15	0.00	227.15	Commercial Mixed Use Zone
397	Chahar Guwahati Part4	444	699.55	127.60	571.96	Commercial Mixed Use Zone
398	Chahar Guwahati Part4	359	831.21	0.00	831.21	Commercial Mixed Use Zone
399	Chahar Guwahati Part4	351	344.30	1.51	342.78	Commercial Mixed Use Zone

400	Chahar Guwahati Part4	346	75.05	7.11	67.94	Commercial Mixed Use Zone
401	Chahar Guwahati Part4	345	82.93	57.33	25.61	Commercial Mixed Use Zone
402	Chahar Guwahati Part4	347	145.13	15.42	129.71	Commercial Mixed Use Zone
403	Chahar Guwahati Part4	349	517.57	0.00	517.57	Commercial Mixed Use Zone
404	Chahar Guwahati Part4	344	70.83	61.11	9.72	Commercial Mixed Use Zone
405	Chahar Guwahati Part4	369	675.54	28.33	647.21	Commercial Mixed Use Zone
406	Chahar Guwahati Part4	580	86.41	0.00	86.41	Commercial Mixed Use Zone
407	Chahar Guwahati Part4	348	227.66	0.77	226.89	Commercial Mixed Use Zone
408	Chahar Guwahati Part4	366	3446.16	50.52	3395.64	Commercial Mixed Use Zone
409	Chahar Guwahati Part4	340	40.43	9.89	30.54	Commercial Mixed Use Zone
410	Chahar Guwahati Part4	341	12.11	0.00	12.11	Commercial Mixed Use Zone
411	Chahar Guwahati Part4	588	66.84	14.91	51.93	Commercial Mixed Use Zone
412	Chahar Guwahati Part4	367	214.95	0.00	214.95	Commercial Mixed Use Zone
413	Chahar Guwahati Part4	368	175.34	0.00	175.34	Commercial Mixed Use Zone
414	Chahar Guwahati Part4	339	57.60	6.30	51.30	Commercial Mixed Use Zone
415	Chahar Guwahati Part4	341	464.64	116.40	348.24	Commercial Mixed Use Zone
416	Chahar Guwahati Part4	371	202.67	8.25	194.42	Commercial Mixed Use Zone
417	Chahar Guwahati Part4	374	490.30	72.12	418.18	Commercial Mixed Use Zone
418	Chahar Guwahati Part4	373	257.47	37.04	220.44	Commercial Mixed Use Zone
419	Chahar Guwahati Part4	407	76.18	5.40	70.78	Commercial Mixed Use Zone
420	Chahar Guwahati Part4	408	22.88	3.86	19.02	Commercial Mixed Use Zone
421	Chahar Guwahati Part4	431	288.93	41.83	247.11	Commercial Mixed Use Zone
422	Chahar Guwahati Part4	335	184.05	14.69	169.36	Commercial Mixed Use Zone
423	Chahar Guwahati Part4	372	442.34	62.00	380.34	Commercial Mixed Use Zone
424	Chahar Guwahati Part4	592	85.01	0.00	85.01	Commercial Mixed Use Zone
425	Chahar Guwahati Part4	335	81.89	4.49	77.40	Commercial Mixed Use Zone
426	Chahar Guwahati Part4	381	405.40	229.76	175.64	Commercial Mixed Use Zone
427	Chahar Guwahati Part4	593	334.86	52.99	281.87	Commercial Mixed Use Zone
428	Chahar Guwahati Part4	334	112.27	0.00	112.27	Commercial Mixed Use Zone
429	Chahar Guwahati Part4	380	167.71	23.84	143.88	Commercial Mixed Use Zone
430	Chahar Guwahati Part4	379	165.94	25.71	140.23	Commercial Mixed Use Zone
431	Chahar Guwahati Part4	337	936.97	2.81	934.16	Commercial Mixed Use Zone
432	Chahar Guwahati Part4	385	164.54	28.40	136.14	Commercial Mixed Use Zone
433	Chahar Guwahati Part4	406	318.59	27.09	291.50	Commercial Mixed Use Zone
434	Chahar Guwahati Part4	378	329.01	47.39	281.63	Commercial Mixed Use Zone
435	Chahar Guwahati Part4	409	343.95	18.33	325.62	Commercial Mixed Use Zone
436	Chahar Guwahati Part4	384	168.37	25.28	143.09	Commercial Mixed Use Zone
437	Chahar Guwahati Part4	377	902.62	160.58	742.04	Commercial Mixed Use Zone
438	Chahar Guwahati Part4	333	774.17	0.00	774.17	Commercial Mixed Use Zone
439	Chahar Guwahati Part4	410	356.27	20.95	335.32	Commercial Mixed Use Zone
440	Chahar Guwahati Part4	330	42.81	4.27	38.55	Commercial Mixed Use Zone

441	Chahar Guwahati Part4	383	172.20	22.16	150.04	Commercial Mixed Use Zone
442	Chahar Guwahati Part4	544	416.34	29.70	386.64	Commercial Mixed Use Zone
443	Chahar Guwahati Part4	405	319.95	0.00	319.95	Commercial Mixed Use Zone
444	Chahar Guwahati Part4	382	185.12	24.67	160.45	Commercial Mixed Use Zone
445	Chahar Guwahati Part4	538	75.32	0.00	75.32	Commercial Mixed Use Zone
446	Chahar Guwahati Part4	387	192.44	63.13	129.30	Commercial Mixed Use Zone
447	Chahar Guwahati Part4	391	106.00	0.00	106.00	Commercial Mixed Use Zone
448	Chahar Guwahati Part4	328	60.39	6.13	54.26	Commercial Mixed Use Zone
449	Chahar Guwahati Part4	537	21.30	0.00	21.30	Commercial Mixed Use Zone
450	Chahar Guwahati Part4	581	99.26	18.74	80.52	Commercial Mixed Use Zone
451	Chahar Guwahati Part4	582	257.35	1.57	255.78	Commercial Mixed Use Zone
452	Chahar Guwahati Part4	415	234.85	9.96	224.89	Commercial Mixed Use Zone
453	Chahar Guwahati Part4	392	200.89	31.04	169.85	Commercial Mixed Use Zone
454	Chahar Guwahati Part4	315	217.23	0.00	217.23	Commercial Mixed Use Zone
455	Chahar Guwahati Part4	431	1888.31	40.07	1848.24	Station Development Zone
456	Chahar Guwahati Part4	541	255.15	16.37	238.78	Commercial Mixed Use Zone
457	Chahar Guwahati Part4	393	36.35	6.08	30.28	Commercial Mixed Use Zone
458	Chahar Guwahati Part4	331	591.86	1.76	590.10	Commercial Mixed Use Zone
459	Chahar Guwahati Part4	432	8332.89	158.46	8174.43	Station Development Zone
460	Chahar Guwahati Part4	790	975.25	30.40	944.84	Commercial Mixed Use Zone
461	Chahar Guwahati Part4	536	40.91	8.43	32.48	Commercial Mixed Use Zone
462	Chahar Guwahati Part4	557	166.63	35.54	131.09	Commercial Mixed Use Zone
463	Chahar Guwahati Part4	416	349.11	9.39	339.72	Commercial Mixed Use Zone
464	Chahar Guwahati Part4	395	88.62	33.08	55.54	Commercial Mixed Use Zone
465	Chahar Guwahati Part4	579	182.33	0.00	182.33	Commercial Mixed Use Zone
466	Chahar Guwahati Part4	314	415.07	0.00	415.07	Commercial Mixed Use Zone
467	Chahar Guwahati Part4	411	1128.07	44.89	1083.18	Commercial Mixed Use Zone
468	Chahar Guwahati Part4	316	231.63	0.00	231.63	Commercial Mixed Use Zone
469	Chahar Guwahati Part4	535	404.94	0.00	404.94	Commercial Mixed Use Zone
470	Chahar Guwahati Part4	313	358.27	28.29	329.99	Commercial Mixed Use Zone
471	Chahar Guwahati Part4	327	80.53	9.48	71.04	Commercial Mixed Use Zone
472	Chahar Guwahati Part4	312	77.20	4.86	72.34	Commercial Mixed Use Zone
473	Chahar Guwahati Part4	289	551.49	130.48	421.01	Commercial Mixed Use Zone
474	Chahar Guwahati Part4	397	111.79	0.00	111.79	Commercial Mixed Use Zone
475	Chahar Guwahati Part4	288	251.42	15.94	235.48	Commercial Mixed Use Zone
476	Chahar Guwahati Part4	414	110.15	0.00	110.15	Commercial Mixed Use Zone
477	Chahar Guwahati Part4	403	515.39	18.49	496.90	Commercial Mixed Use Zone
478	Chahar Guwahati Part4	396	99.84	17.62	82.22	Commercial Mixed Use Zone
479	Chahar Guwahati Part4	324	16.16	2.85	13.31	Commercial Mixed Use Zone
480	Chahar Guwahati Part4	326	376.04	0.00	376.04	Commercial Mixed Use Zone
481	Chahar Guwahati Part4	417	660.14	6.17	653.97	Commercial Mixed Use Zone

482	Chahar Guwahati Part4	290	277.41	13.46	263.95	Commercial Mixed Use Zone
483	Chahar Guwahati Part4	310	277.51	0.00	277.51	Commercial Mixed Use Zone
484	Chahar Guwahati Part4	286	930.90	100.73	830.17	Commercial Mixed Use Zone
485	Chahar Guwahati Part4	311	221.10	31.42	189.69	Commercial Mixed Use Zone
486	Chahar Guwahati Part4	318	37.11	0.00	37.11	Commercial Mixed Use Zone
487	Chahar Guwahati Part4	430	1168.12	71.37	1096.75	Station Development Zone
488	Chahar Guwahati Part4	285	182.04	15.93	166.11	Commercial Mixed Use Zone
489	Chahar Guwahati Part4	325	374.80	6.73	368.07	Commercial Mixed Use Zone
490	Chahar Guwahati Part4	525	84.87	6.50	78.36	Commercial Mixed Use Zone
491	Chahar Guwahati Part4	291	169.87	26.27	143.59	Commercial Mixed Use Zone
492	Chahar Guwahati Part4	309	134.95	0.00	134.95	Commercial Mixed Use Zone
493	Chahar Guwahati Part4	293	159.55	0.00	159.55	Commercial Mixed Use Zone
494	Chahar Guwahati Part4	440	4965.26	168.74	4796.51	Transportation
495	Chahar Guwahati Part4	398	100.45	31.97	68.48	Commercial Mixed Use Zone
496	Chahar Guwahati Part4	526	167.82	0.00	167.82	Commercial Mixed Use Zone
497	Chahar Guwahati Part4	322	80.30	5.49	74.81	Commercial Mixed Use Zone
498	Chahar Guwahati Part4	284	403.17	15.18	387.99	Commercial Mixed Use Zone
499	Chahar Guwahati Part4	420	700.96	11.66	689.29	Commercial Mixed Use Zone
500	Chahar Guwahati Part4	308	174.01	35.68	138.33	Commercial Mixed Use Zone
501	Chahar Guwahati Part4	295	389.08	32.84	356.24	Commercial Mixed Use Zone
502	Chahar Guwahati Part4	323	162.15	0.00	162.15	Commercial Mixed Use Zone
503	Chahar Guwahati Part4	562	32.47	3.05	29.41	Commercial Mixed Use Zone
504	Chahar Guwahati Part4	294	227.09	0.00	227.09	Commercial Mixed Use Zone
505	Chahar Guwahati Part4	400	995.48	33.20	962.28	Commercial Mixed Use Zone
506	Chahar Guwahati Part4	412	128.77	8.30	120.47	Commercial Mixed Use Zone
507	Chahar Guwahati Part4	283	505.60	19.22	486.38	Commercial Mixed Use Zone
508	Chahar Guwahati Part4	413	506.69	8.79	497.89	Commercial Mixed Use Zone
509	Chahar Guwahati Part4	306	164.25	16.78	147.47	Commercial Mixed Use Zone
510	Chahar Guwahati Part4	418	364.55	10.05	354.50	Commercial Mixed Use Zone
511	Chahar Guwahati Part4	594	144.98	7.86	137.11	Commercial Mixed Use Zone
512	Chahar Guwahati Part4	421	976.65	31.96	944.68	Commercial Mixed Use Zone
513	Chahar Guwahati Part4	296	768.27	38.49	729.79	Commercial Mixed Use Zone
514	Chahar Guwahati Part4	422	729.63	50.76	678.87	Commercial Mixed Use Zone
515	Chahar Guwahati Part4	423	835.01	50.90	784.11	Commercial Mixed Use Zone
516	Chahar Guwahati Part4	424	405.79	28.91	376.88	Commercial Mixed Use Zone
517	Chahar Guwahati Part4	282	641.86	25.06	616.80	Commercial Mixed Use Zone
518	Chahar Guwahati Part4	572	210.89	31.72	179.16	Commercial Mixed Use Zone
519	Chahar Guwahati Part4	425	398.91	27.42	371.49	Commercial Mixed Use Zone
520	Chahar Guwahati Part4	321	1295.53	17.65	1277.88	Commercial Mixed Use Zone
521	Chahar Guwahati Part4	571	107.14	15.23	91.91	Commercial Mixed Use Zone
522	Chahar Guwahati Part4	319	1067.70	0.00	1067.70	Commercial Mixed Use Zone

523	Chahar Guwahati Part4	281	606.24	25.87	580.37	Commercial Mixed Use Zone
524	Chahar Guwahati Part4	304	465.41	0.00	465.41	Commercial Mixed Use Zone
525	Chahar Guwahati Part4	302	876.56	81.74	794.82	Commercial Mixed Use Zone
526	Chahar Guwahati Part4	513	473.88	0.00	473.88	Commercial Mixed Use Zone
527	Chahar Guwahati Part4	299	226.49	32.74	193.75	Commercial Mixed Use Zone
528	Chahar Guwahati Part4	570	29.70	5.16	24.54	Commercial Mixed Use Zone
529	Chahar Guwahati Part4	280	302.89	13.91	288.98	Commercial Mixed Use Zone
530	Chahar Guwahati Part4	297	631.14	0.00	631.14	Commercial Mixed Use Zone
531	Chahar Guwahati Part4	246	52.63	0.00	52.63	Commercial Mixed Use Zone
532	Chahar Guwahati Part4	275	4069.40	119.94	3949.46	Commercial Mixed Use Zone
533	Chahar Guwahati Part4	274	687.57	25.98	661.59	Commercial Mixed Use Zone
534	Chahar Guwahati Part4	298	108.12	0.00	108.12	Commercial Mixed Use Zone
535	Chahar Guwahati Part4	0	49.70	0.00	49.70	Commercial Mixed Use Zone
536	Chahar Guwahati Part4	574	160.13	0.00	160.13	Commercial Mixed Use Zone
537	Chahar Guwahati Part4	267	440.89	14.12	426.78	Commercial Mixed Use Zone
538	Chahar Guwahati Part4	248	148.66	0.00	148.66	Commercial Mixed Use Zone
539	Chahar Guwahati Part4	244	169.55	0.00	169.55	Commercial Mixed Use Zone
540	Chahar Guwahati Part4	279	292.66	18.15	274.51	Commercial Mixed Use Zone
541	Chahar Guwahati Part4	249	71.36	0.00	71.36	Commercial Mixed Use Zone
542	Chahar Guwahati Part4	243	598.34	37.80	560.54	Commercial Mixed Use Zone
543	Chahar Guwahati Part4	242	70.58	15.98	54.60	Commercial Mixed Use Zone
544	Chahar Guwahati Part4	254	217.41	0.00	217.41	Commercial Mixed Use Zone
545	Chahar Guwahati Part4	255	195.58	1.79	193.79	Commercial Mixed Use Zone
546	Chahar Guwahati Part4	558	218.25	0.00	218.25	Commercial Mixed Use Zone
547	Chahar Guwahati Part4	552	292.25	0.00	292.25	Commercial Mixed Use Zone
548	Chahar Guwahati Part4	241	54.07	15.08	38.99	Commercial Mixed Use Zone
549	Chahar Guwahati Part4	602	201.27	0.00	201.27	Commercial Mixed Use Zone
550	Chahar Guwahati Part4	245	324.49	0.00	324.49	Commercial Mixed Use Zone
551	Chahar Guwahati Part4	240	187.61	0.00	187.61	Commercial Mixed Use Zone
552	Chahar Guwahati Part4	247	426.36	0.00	426.36	Commercial Mixed Use Zone
553	Chahar Guwahati Part4	259	441.72	7.95	433.77	Commercial Mixed Use Zone
554	Chahar Guwahati Part4	250	168.20	0.00	168.20	Commercial Mixed Use Zone
555	Chahar Guwahati Part4	251	42.30	0.00	42.30	Commercial Mixed Use Zone
556	Chahar Guwahati Part4	252	67.90	0.00	67.90	Commercial Mixed Use Zone
557	Chahar Guwahati Part4	239	176.95	0.00	176.95	Commercial Mixed Use Zone
558	Chahar Guwahati Part4	232	129.24	16.54	112.70	Commercial Mixed Use Zone
559	Chahar Guwahati Part4	564	19.61	2.62	17.00	Commercial Mixed Use Zone
560	Chahar Guwahati Part4	263	1195.55	37.01	1158.53	Commercial Mixed Use Zone
561	Chahar Guwahati Part4	253	416.27	9.79	406.48	Commercial Mixed Use Zone
562	Chahar Guwahati Part4	238	150.68	0.00	150.68	Commercial Mixed Use Zone
563	Chahar Guwahati Part4	235	125.84	4.51	121.33	Commercial Mixed Use Zone

564	Chahar Guwahati Part4	236	121.87	0.00	121.87	Commercial Mixed Use Zone
565	Chahar Guwahati Part4	231	224.23	21.06	203.16	Commercial Mixed Use Zone
566	Chahar Guwahati Part4	569	152.38	22.63	129.75	Commercial Mixed Use Zone
567	Chahar Guwahati Part4	233	211.35	0.00	211.35	Commercial Mixed Use Zone
568	Chahar Guwahati Part4	231	156.09	0.00	156.09	Commercial Mixed Use Zone
569	Chahar Guwahati Part4	260	590.57	15.16	575.41	Commercial Mixed Use Zone
570	Chahar Guwahati Part4	230	79.41	18.73	60.68	Commercial Mixed Use Zone
571	Chahar Guwahati Part4	566	329.12	0.00	329.12	Commercial Mixed Use Zone
572	Chahar Guwahati Part4	261	316.24	0.00	316.24	Commercial Mixed Use Zone
573	Chahar Guwahati Part4	565	316.97	0.00	316.97	Commercial Mixed Use Zone
574	Chahar Guwahati Part4	604	226.78	0.00	226.78	Commercial Mixed Use Zone
575	Chahar Guwahati Part4	204	821.63	21.62	800.01	Commercial Mixed Use Zone
576	Chahar Guwahati Part4	262	136.42	18.47	117.95	Commercial Mixed Use Zone
577	Chahar Guwahati Part4	229	79.12	20.67	58.45	Commercial Mixed Use Zone
578	Chahar Guwahati Part4	266	2500.20	165.01	2335.19	Commercial Mixed Use Zone
579	Chahar Guwahati Part4	234	555.36	0.00	555.36	Commercial Mixed Use Zone
580	Chahar Guwahati Part4	603	233.05	0.00	233.05	Commercial Mixed Use Zone
581	Chahar Guwahati Part4	203	465.18	15.58	449.60	Commercial Mixed Use Zone
582	Chahar Guwahati Part4	227	112.70	18.71	94.00	Commercial Mixed Use Zone
583	Chahar Guwahati Part4	206	273.98	12.25	261.73	Commercial Mixed Use Zone
584	Chahar Guwahati Part4	202	95.20	8.47	86.73	Commercial Mixed Use Zone
585	Chahar Guwahati Part4	228	146.02	0.00	146.02	Commercial Mixed Use Zone
586	Chahar Guwahati Part4	597	146.89	0.00	146.89	Commercial Mixed Use Zone
587	Chahar Guwahati Part4	207	320.42	13.34	307.08	Commercial Mixed Use Zone
588	Chahar Guwahati Part4	201	121.40	7.96	113.44	Commercial Mixed Use Zone
589	Chahar Guwahati Part4	226	257.74	17.16	240.58	Commercial Mixed Use Zone
590	Chahar Guwahati Part4	224	83.68	15.07	68.61	Commercial Mixed Use Zone
591	Chahar Guwahati Part4	170	271.05	55.60	215.45	Commercial Mixed Use Zone
592	Chahar Guwahati Part4	172	1107.96	33.47	1074.50	Commercial Mixed Use Zone
593	Chahar Guwahati Part4	598	168.65	0.00	168.65	Commercial Mixed Use Zone
594	Chahar Guwahati Part4	225	175.79	0.00	175.79	Commercial Mixed Use Zone
595	Chahar Guwahati Part4	223	89.97	25.59	64.38	Commercial Mixed Use Zone
596	Chahar Guwahati Part4	200	159.59	9.10	150.49	Commercial Mixed Use Zone
597	Chahar Guwahati Part4	222	66.73	0.00	66.73	Commercial Mixed Use Zone
598	Chahar Guwahati Part4	599	277.81	0.00	277.81	Commercial Mixed Use Zone
599	Chahar Guwahati Part4	221	349.47	4.66	344.82	Commercial Mixed Use Zone
600	Chahar Guwahati Part4	173	998.30	26.92	971.38	Commercial Mixed Use Zone
601	Chahar Guwahati Part4	270	13154.89	277.06	12877.83	Public and Semi Public Zone
602	Chahar Guwahati Part4	216	138.55	31.15	107.41	Commercial Mixed Use Zone
603	Chahar Guwahati Part4	198	248.40	13.61	234.79	Commercial Mixed Use Zone
604	Chahar Guwahati Part4	197	160.08	0.00	160.08	Commercial Mixed Use Zone

605	Chahar Guwahati Part4	220	428.25	0.00	428.25	Commercial Mixed Use Zone
606	Chahar Guwahati Part4	208	1156.62	0.00	1156.62	Commercial Mixed Use Zone
607	Chahar Guwahati Part4	175	627.64	0.00	627.64	Commercial Mixed Use Zone
608	Chahar Guwahati Part4	174	408.09	29.83	378.26	Commercial Mixed Use Zone
609	Chahar Guwahati Part4	199	159.39	3.73	155.67	Commercial Mixed Use Zone
610	Chahar Guwahati Part4	583	1593.24	51.55	1541.69	Commercial Mixed Use Zone
611	Chahar Guwahati Part4	196	356.85	0.00	356.85	Commercial Mixed Use Zone
612	Chahar Guwahati Part4	217	349.50	80.25	269.25	Commercial Mixed Use Zone
613	Chahar Guwahati Part4	176	306.43	0.00	306.43	Commercial Mixed Use Zone
614	Chahar Guwahati Part4	195	257.25	14.38	242.87	Commercial Mixed Use Zone
615	Chahar Guwahati Part4	177	95.58	13.61	81.97	Commercial Mixed Use Zone
616	Chahar Guwahati Part4	216	333.16	20.37	312.80	Commercial Mixed Use Zone
617	Chahar Guwahati Part4	212	158.01	0.00	158.01	Commercial Mixed Use Zone
618	Chahar Guwahati Part4	215	339.96	13.89	326.07	Commercial Mixed Use Zone
619	Chahar Guwahati Part4	209	260.72	6.63	254.10	Commercial Mixed Use Zone
620	Chahar Guwahati Part4	179	273.53	0.00	273.53	Commercial Mixed Use Zone
621	Chahar Guwahati Part4	178	110.62	14.84	95.78	Commercial Mixed Use Zone
622	Chahar Guwahati Part4	214	277.39	15.86	261.53	Commercial Mixed Use Zone
623	Chahar Guwahati Part4	600	454.64	0.00	454.64	Commercial Mixed Use Zone
624	Chahar Guwahati Part4	193	207.22	10.29	196.93	Commercial Mixed Use Zone
625	Chahar Guwahati Part4	169	3189.91	0.00	3189.91	Commercial Mixed Use Zone
626	Chahar Guwahati Part4	213	407.95	16.62	391.33	Commercial Mixed Use Zone
627	Chahar Guwahati Part4	154	344.38	22.90	321.48	Commercial Mixed Use Zone
628	Chahar Guwahati Part4	192	106.56	7.46	99.10	Commercial Mixed Use Zone
629	Chahar Guwahati Part4	211	211.40	21.52	189.88	Commercial Mixed Use Zone
630	Chahar Guwahati Part4	155	282.88	0.00	282.88	Commercial Mixed Use Zone
631	Chahar Guwahati Part4	180	529.40	19.75	509.65	Commercial Mixed Use Zone
632	Chahar Guwahati Part4	156	282.56	0.00	282.56	Commercial Mixed Use Zone
633	Chahar Guwahati Part4	210	482.46	62.16	420.30	Commercial Mixed Use Zone
634	Chahar Guwahati Part4	111	262.58	43.36	219.22	Commercial Mixed Use Zone
635	Chahar Guwahati Part4	153	272.44	21.30	251.14	Commercial Mixed Use Zone
636	Chahar Guwahati Part4	112	212.79	14.69	198.10	Commercial Mixed Use Zone
637	Chahar Guwahati Part4	528	253.13	0.00	253.13	Commercial Mixed Use Zone
638	Chahar Guwahati Part4	545	112.00	8.41	103.60	Commercial Mixed Use Zone
639	Chahar Guwahati Part4	117	27.09	1.29	25.81	Commercial Mixed Use Zone
640	Chahar Guwahati Part4	601	789.99	0.00	789.99	Commercial Mixed Use Zone
641	Chahar Guwahati Part4	118	143.49	9.50	133.98	Commercial Mixed Use Zone
642	Chahar Guwahati Part4	182	580.33	32.09	548.24	Commercial Mixed Use Zone
643	Chahar Guwahati Part4	191	213.52	35.21	178.31	Commercial Mixed Use Zone
644	Chahar Guwahati Part4	120	215.22	16.56	198.66	Commercial Mixed Use Zone
645	Chahar Guwahati Part4	152	269.98	26.63	243.36	Commercial Mixed Use Zone

646	Chahar Guwahati Part4	159	341.59	0.00	341.59	Commercial Mixed Use Zone
647	Chahar Guwahati Part4	183	91.42	19.59	71.84	Commercial Mixed Use Zone
648	Chahar Guwahati Part4	547	135.09	0.00	135.09	Commercial Mixed Use Zone
649	Chahar Guwahati Part4	123	179.10	15.40	163.70	Commercial Mixed Use Zone
650	Chahar Guwahati Part4	110	294.00	15.79	278.22	Commercial Mixed Use Zone
651	Chahar Guwahati Part4	124	204.61	18.01	186.60	Commercial Mixed Use Zone
652	Chahar Guwahati Part4	184	70.53	13.83	56.70	Commercial Mixed Use Zone
653	Chahar Guwahati Part4	121	124.73	0.00	124.73	Commercial Mixed Use Zone
654	Chahar Guwahati Part4	113	233.27	0.00	233.27	Commercial Mixed Use Zone
655	Chahar Guwahati Part4	190	659.99	65.02	594.97	Commercial Mixed Use Zone
656	Chahar Guwahati Part4	151	285.96	32.60	253.36	Commercial Mixed Use Zone
657	Chahar Guwahati Part4	115	138.34	0.00	138.34	Commercial Mixed Use Zone
658	Chahar Guwahati Part4	165	361.66	0.00	361.66	Commercial Mixed Use Zone
659	Chahar Guwahati Part4	126	128.29	11.92	116.38	Commercial Mixed Use Zone
660	Chahar Guwahati Part4	567	307.85	0.00	307.85	Commercial Mixed Use Zone
661	Chahar Guwahati Part4	109	212.80	36.77	176.03	Commercial Mixed Use Zone
662	Chahar Guwahati Part4	188	523.61	11.22	512.39	Commercial Mixed Use Zone
663	Chahar Guwahati Part4	114	87.27	9.13	78.14	Commercial Mixed Use Zone
664	Chahar Guwahati Part4	187	148.30	6.05	142.25	Commercial Mixed Use Zone
665	Chahar Guwahati Part4	551	98.84	3.12	95.72	Commercial Mixed Use Zone
666	Chahar Guwahati Part4	186	49.04	2.10	46.94	Commercial Mixed Use Zone
667	Chahar Guwahati Part4	158	719.37	0.00	719.37	Commercial Mixed Use Zone
668	Chahar Guwahati Part4	150	293.95	35.05	258.90	Commercial Mixed Use Zone
669	Chahar Guwahati Part4	125	263.38	13.24	250.14	Commercial Mixed Use Zone
670	Chahar Guwahati Part4	185	207.84	67.37	140.47	Commercial Mixed Use Zone
671	Chahar Guwahati Part4	115	245.97	24.58	221.38	Commercial Mixed Use Zone
672	Chahar Guwahati Part4	134	240.20	39.79	200.40	Commercial Mixed Use Zone
673	Chahar Guwahati Part4	164	244.49	0.00	244.49	Commercial Mixed Use Zone
674	Chahar Guwahati Part4	136	42.96	3.54	39.42	Commercial Mixed Use Zone
675	Chahar Guwahati Part4	127	360.75	43.60	317.16	Commercial Mixed Use Zone
676	Chahar Guwahati Part4	122	783.69	23.37	760.33	Commercial Mixed Use Zone
677	Chahar Guwahati Part4	149	157.22	55.93	101.29	Commercial Mixed Use Zone
678	Chahar Guwahati Part4	596	334.98	0.00	334.98	Commercial Mixed Use Zone
679	Chahar Guwahati Part4	160	257.75	3.28	254.47	Commercial Mixed Use Zone
680	Chahar Guwahati Part4	128	154.01	5.47	148.54	Commercial Mixed Use Zone
681	Chahar Guwahati Part4	106	345.83	58.31	287.52	Riverfront Revitalisation Zone
682	Chahar Guwahati Part4	151	218.36	1.62	216.75	Commercial Mixed Use Zone
683	Chahar Guwahati Part4	133	266.41	7.63	258.77	Commercial Mixed Use Zone
684	Chahar Guwahati Part4	129	193.38	35.93	157.45	Commercial Mixed Use Zone
685	Chahar Guwahati Part4	132	93.52	4.72	88.80	Commercial Mixed Use Zone
686	Chahar Guwahati Part4	162	182.48	1.22	181.26	Commercial Mixed Use Zone

687	Chahar Guwahati Part4	143	269.99	15.66	254.33	Commercial Mixed Use Zone
688	Chahar Guwahati Part4	548	109.58	7.19	102.38	Commercial Mixed Use Zone
689	Chahar Guwahati Part4	163	415.30	0.01	415.29	Commercial Mixed Use Zone
690	Chahar Guwahati Part4	105	376.14	20.25	355.88	Riverfront Revitalisation Zone
691	Chahar Guwahati Part4	131	356.33	19.31	337.02	Commercial Mixed Use Zone
692	Chahar Guwahati Part4	144	324.95	8.31	316.64	Commercial Mixed Use Zone
693	Chahar Guwahati Part4	104	808.76	14.13	794.63	Riverfront Revitalisation Zone
694	Chahar Guwahati Part4	138	202.58	0.00	202.58	Commercial Mixed Use Zone
695	Chahar Guwahati Part4	142	170.92	0.00	170.92	Commercial Mixed Use Zone
696	Chahar Guwahati Part4	137	627.82	39.19	588.63	Commercial Mixed Use Zone
697	Chahar Guwahati Part4	102	184.28	5.83	178.45	Riverfront Revitalisation Zone
698	Chahar Guwahati Part4	140	27.72	0.00	27.72	Commercial Mixed Use Zone
699	Chahar Guwahati Part4	103	535.93	16.28	519.65	Riverfront Revitalisation Zone
700	Chahar Guwahati Part4	147	672.84	86.44	586.40	Commercial Mixed Use Zone
701	Chahar Guwahati Part4	101	420.28	16.87	403.41	Riverfront Revitalisation Zone
702	Chahar Guwahati Part4	93	56.02	0.00	56.02	Riverfront Revitalisation Zone
703	Chahar Guwahati Part4	141	173.68	0.00	173.68	Commercial Mixed Use Zone
704	Chahar Guwahati Part4	146	214.68	6.67	208.00	Commercial Mixed Use Zone
705	Chahar Guwahati Part4	100	172.75	3.70	169.05	Riverfront Revitalisation Zone
706	Chahar Guwahati Part4	94	45.67	0.00	45.67	Riverfront Revitalisation Zone
707	Chahar Guwahati Part4	92	1100.36	10.08	1090.28	Riverfront Revitalisation Zone
708	Chahar Guwahati Part4	145	640.77	48.74	592.03	Commercial Mixed Use Zone
709	Chahar Guwahati Part4	99	168.43	4.65	163.77	Riverfront Revitalisation Zone
710	Chahar Guwahati Part4	95	35.94	0.00	35.94	Riverfront Revitalisation Zone
711	Chahar Guwahati Part4	98	179.40	6.31	173.10	Riverfront Revitalisation Zone
712	Chahar Guwahati Part4	96	855.58	8.66	846.92	Riverfront Revitalisation Zone
713	Chahar Guwahati Part4	96	26.62	0.00	26.62	Riverfront Revitalisation Zone
714	Chahar Guwahati Part4	97	180.33	6.84	173.50	Riverfront Revitalisation Zone
715	Chahar Guwahati Part4	166	25598.52	269.11	25329.41	Public and Semi Public Zone
716	Chahar Guwahati Part4	8	55.12	26.19	28.93	Recreational and Green Open Spaces
717	Chahar Guwahati Part4	9	4.71	0.00	4.71	Recreational and Green Open Spaces
718	Chahar Guwahati Part4	89	1668.53	357.31	1311.22	Riverfront Revitalisation Zone
719	Chahar Guwahati Part4	6	564.15	13.21	550.94	Recreational and Green Open Spaces
720	Chahar Guwahati Part4	88	952.78	171.59	781.19	Riverfront Revitalisation Zone
721	Chahar Guwahati Part4	86	769.48	141.47	628.01	Riverfront Revitalisation Zone
722	Chahar Guwahati Part4	5	587.05	80.66	506.39	Recreational and Green Open Spaces
723	Chahar Guwahati Part4	510	69.65	0.00	69.65	Recreational and Green Open Spaces
724	Chahar Guwahati Part4	550	66.70	0.00	66.70	Recreational and Green Open Spaces
725	Chahar Guwahati Part4	10	1080.01	395.68	684.34	Recreational and Green Open Spaces
726	Chahar Guwahati Part4	4	489.98	0.00	489.98	Recreational and Green Open Spaces
727	Chahar Guwahati Part4	35	161.69	0.00	161.69	Recreational and Green Open Spaces

728	Chahar Guwahati Part4	34	89.95	0.00	89.95	Recreational and Green Open Spaces
729	Chahar Guwahati Part4	549	38.15	0.00	38.15	Recreational and Green Open Spaces
730	Chahar Guwahati Part4	77	1853.08	218.85	1634.22	Public and Semi Public Zone
731	Chahar Guwahati Part4	1	608.64	0.00	608.64	Recreational and Green Open Spaces
732	Chahar Guwahati Part4	31	133.94	31.55	102.39	Recreational and Green Open Spaces
733	Chahar Guwahati Part4	11	1015.02	0.00	1015.02	Recreational and Green Open Spaces
734	Chahar Guwahati Part4	11	64.53	0.00	64.53	Recreational and Green Open Spaces
735	Chahar Guwahati Part4	2	303.72	0.00	303.72	Recreational and Green Open Spaces
736	Chahar Guwahati Part4	81	8205.52	94.04	8111.48	Riverfront Revitalisation Zone
737	Chahar Guwahati Part4	76	7218.86	172.97	7045.90	Public and Semi Public Zone
738	Chahar Guwahati Part4	21	152.51	35.00	117.51	Recreational and Green Open Spaces
739	Chahar Guwahati Part4	26	18.62	4.52	14.09	Recreational and Green Open Spaces
740	Chahar Guwahati Part4	18	19.43	0.00	19.43	Recreational and Green Open Spaces
741	Chahar Guwahati Part4	25	74.22	0.00	74.22	Recreational and Green Open Spaces
742	Chahar Guwahati Part4	12	1053.61	0.00	1053.61	Recreational and Green Open Spaces
743	Chahar Guwahati Part4	36	925.28	369.93	555.35	Recreational and Green Open Spaces
744	Chahar Guwahati Part4	29	296.92	35.35	261.58	Recreational and Green Open Spaces
745	Chahar Guwahati Part4	17	83.55	0.00	83.55	Recreational and Green Open Spaces
746	Chahar Guwahati Part4	68	1155.22	0.00	1155.22	Public and Semi Public Zone
747	Chahar Guwahati Part4	17	161.73	0.00	161.73	Recreational and Green Open Spaces
748	Chahar Guwahati Part4	20	400.81	97.57	303.25	Recreational and Green Open Spaces
749	Chahar Guwahati Part4	41	978.62	0.00	978.62	Recreational and Green Open Spaces
750	Chahar Guwahati Part4	22	216.36	0.00	216.36	Recreational and Green Open Spaces
751	Chahar Guwahati Part4	16	215.65	20.99	194.66	Recreational and Green Open Spaces
752	Chahar Guwahati Part4	13	800.92	29.39	771.52	Recreational and Green Open Spaces
753	Chahar Guwahati Part4	21	508.55	40.08	468.47	Recreational and Green Open Spaces
754	Chahar Guwahati Part4	75	6448.48	991.62	5456.86	Riverfront Revitalisation Zone
755	Chahar Guwahati Part4	14	352.33	87.49	264.84	Recreational and Green Open Spaces
756	Chahar Guwahati Part4	15	559.56	101.27	458.28	Recreational and Green Open Spaces
757	Chahar Guwahati Part4	42	2690.04	0.00	2690.04	Recreational and Green Open Spaces
758	Chahar Guwahati Part4	70	8373.17	464.89	7908.27	Public and Semi Public Zone
759	Chahar Guwahati Part4	38	3979.43	72.26	3907.17	Recreational and Green Open Spaces
760	Chahar Guwahati Part4	67	4701.23	480.29	4220.94	Public and Semi Public Zone
761	Chahar Guwahati Part4	53	5013.72	686.95	4326.77	Recreational and Green Open Spaces
762	Chahar Guwahati Part4	53	113.12	7.34	105.78	Recreational and Green Open Spaces
763	Chahar Guwahati Part4	57	1465.88	289.33	1176.55	Recreational and Green Open Spaces
764	Chahar Guwahati Part4	40	7750.48	301.81	7448.67	Recreational and Green Open Spaces

765	Chahar Guwahati Part4	61	317.48	42.38	275.10	Recreational and Green Open Spaces
766	Chahar Guwahati Part4	50	1170.21	180.18	990.02	Recreational and Green Open Spaces
767	Chahar Guwahati Part4	60	479.39	70.76	408.63	Recreational and Green Open Spaces
768	Chahar Guwahati Part4	62	648.44	594.59	53.85	Recreational and Green Open Spaces
769	Chahar Guwahati Part4	52	10125.50	563.90	9561.60	Recreational and Green Open Spaces
770	Chahar Guwahati Part4	63	2908.68	7.85	2900.82	Recreational and Green Open Spaces
771	Chahar Guwahati Part4	59	1677.41	11.41	1666.01	Recreational and Green Open Spaces
772	Chahar Guwahati Part4	64	10685.48	1546.37	9139.11	Recreational and Green Open Spaces
773	Chahar Guwahati Part4	51	2505.44	227.41	2278.03	Recreational and Green Open Spaces
774	Chahar Guwahati Part4	39	16789.31	509.53	16279.78	Recreational and Green Open Spaces
775	Chahar Guwahati Part4	39	2392.19	39.16	2353.03	Recreational and Green Open Spaces
776	Chahar Guwahati Part4	58	424.83	4.78	420.04	Recreational and Green Open Spaces
777	Chahar Guwahati Part4	69	7312.35	23.21	7289.15	Public and Semi Public Zone
778	Chahar Guwahati Part4	21	206.94	36.87	170.07	Recreational and Green Open Spaces
779	Chahar Guwahati Part4	21	20.97	3.05	17.92	Recreational and Green Open Spaces
780	Chahar Guwahati Part4	24	41.35	33.03	8.32	Recreational and Green Open Spaces
781	Chahar Guwahati Part4	32	138.00	137.06	0.94	Recreational and Green Open Spaces
782	Chahar Guwahati Part4	36	39.55	5.31	34.23	Recreational and Green Open Spaces
783	Chahar Guwahati Part4	36	80.24	78.37	1.87	Recreational and Green Open Spaces
784	Chahar Guwahati Part4	44	800.56	563.13	237.43	Recreational and Green Open Spaces
785	Chahar Guwahati Part4	135	199.80	18.45	181.35	Commercial Mixed Use Zone
786	Chahar Guwahati Part4	139	295.44	0.00	295.44	Commercial Mixed Use Zone
787	Chahar Guwahati Part4	189	122.90	8.44	114.46	Commercial Mixed Use Zone
788	Chahar Guwahati Part4	527	152.30	7.18	145.12	Commercial Mixed Use Zone
789	Chahar Guwahati Part4	168	727.43	34.42	693.01	Public and Semi Public Zone
790	Chahar Guwahati Part4	265	301.21	5.21	296.01	Commercial Mixed Use Zone
791	Chahar Guwahati Part4	268	2853.31	75.59	2777.72	Commercial Mixed Use Zone
792	Chahar Guwahati Part4	419	136.70	7.59	129.11	Commercial Mixed Use Zone
793	Chahar Guwahati Part4	401	342.77	0.00	342.77	Commercial Mixed Use Zone
794	Chahar Guwahati Part4	305	343.09	0.00	343.09	Commercial Mixed Use Zone
795	Chahar Guwahati Part4	307	257.98	20.91	237.07	Commercial Mixed Use Zone
796	Chahar Guwahati Part4	292	160.69	0.00	160.69	Commercial Mixed Use Zone
797	Chahar Guwahati Part4	332	61.63	5.51	56.11	Commercial Mixed Use Zone
798	Chahar Guwahati Part4	338	515.74	0.00	515.74	Commercial Mixed Use Zone
799	Chahar Guwahati Part4	342	193.98	183.39	10.59	Commercial Mixed Use Zone
800	Chahar Guwahati Part4	343	39.53	35.94	3.59	Commercial Mixed Use Zone
801	Chahar Guwahati Part4	352	305.73	2.91	302.83	Commercial Mixed Use Zone
802	Chahar Guwahati Part4	350	200.20	7.46	192.74	Commercial Mixed Use Zone
803	Chahar Guwahati Part4	534	139.59	0.00	139.59	Commercial Mixed Use Zone
804	Chahar Guwahati Part4	543	375.05	56.72	318.32	Commercial Mixed Use Zone
805	Chahar Guwahati Part4	584	270.34	63.62	206.72	Commercial Mixed Use Zone

806	Chahar Guwahati Part4	363	165.38	20.64	144.73	Commercial Mixed Use Zone
807	Chahar Guwahati Part4	365	265.97	32.23	233.74	Commercial Mixed Use Zone
808	Chahar Guwahati Part4	375	450.21	77.41	372.80	Commercial Mixed Use Zone
809	Chahar Guwahati Part4	389	173.61	29.42	144.19	Commercial Mixed Use Zone
810	Chahar Guwahati Part4	388	162.95	27.51	135.44	Commercial Mixed Use Zone
811	Chahar Guwahati Part4	556	323.13	69.57	253.56	Commercial Mixed Use Zone
812	Chahar Guwahati Part4	370	195.72	2.44	193.28	Commercial Mixed Use Zone
813	Chahar Guwahati Part4	205	66.11	7.03	59.08	Commercial Mixed Use Zone
814	Chahar Guwahati Part4	194	190.54	10.80	179.74	Commercial Mixed Use Zone
815	Chahar Guwahati Part4	507	259.28	19.24	240.04	Commercial Mixed Use Zone
816	Chahar Guwahati Part4	504	128.19	8.41	119.78	Commercial Mixed Use Zone
817	Chahar Guwahati Part4	480	40.21	0.00	40.21	Commercial Mixed Use Zone
818	Chahar Guwahati Part4	459	23.76	1.09	22.66	Commercial Mixed Use Zone
819	Chahar Guwahati Part4	482	145.26	0.00	145.26	Commercial Mixed Use Zone
820	Chahar Guwahati Part3	496	1160.23	0.00	1160.23	Commercial Mixed Use Zone
821	Chahar Guwahati Part3	493	125.83	3.27	122.56	Commercial Mixed Use Zone
822	Chahar Guwahati Part3	0	48.79	0.00	48.79	Commercial Mixed Use Zone
823	Chahar Guwahati Part3	562	79.99	0.00	79.99	Commercial Mixed Use Zone
824	Chahar Guwahati Part3	495	1458.90	0.00	1458.90	Commercial Mixed Use Zone
825	Chahar Guwahati Part3	628	253.62	0.55	253.07	Commercial Mixed Use Zone
826	Chahar Guwahati Part3	563	149.63	0.00	149.63	Commercial Mixed Use Zone
827	Chahar Guwahati Part3	655	145.48	0.00	145.48	Commercial Mixed Use Zone
828	Chahar Guwahati Part3	488	104.93	0.00	104.93	Commercial Mixed Use Zone
829	Chahar Guwahati Part3	490	255.68	0.00	255.68	Commercial Mixed Use Zone
830	Chahar Guwahati Part3	494	531.72	0.22	531.49	Commercial Mixed Use Zone
831	Chahar Guwahati Part3	487	153.63	0.00	153.63	Commercial Mixed Use Zone
832	Chahar Guwahati Part3	492	301.35	8.11	293.24	Commercial Mixed Use Zone
833	Chahar Guwahati Part3	499	509.68	427.25	82.43	Commercial Mixed Use Zone
834	Chahar Guwahati Part3	446	560.29	120.15	440.14	Commercial Mixed Use Zone
835	Chahar Guwahati Part3	627	222.61	0.00	222.61	Commercial Mixed Use Zone
836	Chahar Guwahati Part3	626	216.96	0.00	216.96	Commercial Mixed Use Zone
837	Chahar Guwahati Part3	369	37.62	0.00	37.62	Commercial Mixed Use Zone
838	Chahar Guwahati Part3	486	304.11	0.00	304.11	Commercial Mixed Use Zone
839	Chahar Guwahati Part3	447	900.60	144.22	756.38	Commercial Mixed Use Zone
840	Chahar Guwahati Part3	370	214.54	0.00	214.54	Commercial Mixed Use Zone
841	Chahar Guwahati Part3	656	406.27	0.00	406.27	Commercial Mixed Use Zone
842	Chahar Guwahati Part3	485	676.68	0.00	676.68	Commercial Mixed Use Zone
843	Chahar Guwahati Part3	461	199.39	81.83	117.56	Commercial Mixed Use Zone
844	Chahar Guwahati Part3	484	722.51	0.00	722.51	Commercial Mixed Use Zone
845	Chahar Guwahati Part3	368	144.47	13.12	131.35	Commercial Mixed Use Zone
846	Chahar Guwahati Part3	483	327.29	0.00	327.29	Commercial Mixed Use Zone

847	Chahar Guwahati Part3	482	373.34	0.00	373.34	Commercial Mixed Use Zone
848	Chahar Guwahati Part3	444	322.16	0.00	322.16	Commercial Mixed Use Zone
849	Chahar Guwahati Part3	443	368.21	11.47	356.73	Commercial Mixed Use Zone
850	Chahar Guwahati Part3	460	112.50	0.00	112.50	Commercial Mixed Use Zone
851	Chahar Guwahati Part3	371	474.22	8.50	465.72	Commercial Mixed Use Zone
852	Chahar Guwahati Part3	481	861.35	0.00	861.35	Commercial Mixed Use Zone
853	Chahar Guwahati Part3	657	406.61	0.00	406.61	Commercial Mixed Use Zone
854	Chahar Guwahati Part3	480	519.18	169.65	349.53	Commercial Mixed Use Zone
855	Chahar Guwahati Part3	448	441.18	114.65	326.53	Commercial Mixed Use Zone
856	Chahar Guwahati Part3	372	394.94	4.87	390.07	Commercial Mixed Use Zone
857	Chahar Guwahati Part3	518	139.57	0.00	139.57	Commercial Mixed Use Zone
858	Chahar Guwahati Part3	373	292.04	2.96	289.08	Commercial Mixed Use Zone
859	Chahar Guwahati Part3	571	323.62	0.00	323.62	Commercial Mixed Use Zone
860	Chahar Guwahati Part3	362	67.36	6.51	60.85	Mixed Use Zone
861	Chahar Guwahati Part3	463	295.86	0.00	295.86	Commercial Mixed Use Zone
862	Chahar Guwahati Part3	438	100.04	0.00	100.04	Commercial Mixed Use Zone
863	Chahar Guwahati Part3	449	166.61	56.03	110.58	Commercial Mixed Use Zone
864	Chahar Guwahati Part3	539	325.30	0.00	325.30	Commercial Mixed Use Zone
865	Chahar Guwahati Part3	374	246.14	3.41	242.73	Commercial Mixed Use Zone
866	Chahar Guwahati Part3	450	208.46	0.00	208.46	Commercial Mixed Use Zone
867	Chahar Guwahati Part3	859	130.40	0.00	130.40	Commercial Mixed Use Zone
868	Chahar Guwahati Part3	442	153.42	0.00	153.42	Commercial Mixed Use Zone
869	Chahar Guwahati Part3	436	62.35	0.00	62.35	Commercial Mixed Use Zone
870	Chahar Guwahati Part3	478	246.10	0.00	246.10	Commercial Mixed Use Zone
871	Chahar Guwahati Part3	433	215.64	0.00	215.64	Commercial Mixed Use Zone
872	Chahar Guwahati Part3	538	385.88	0.00	385.88	Commercial Mixed Use Zone
873	Chahar Guwahati Part3	361	128.04	18.15	109.89	Mixed Use Zone
874	Chahar Guwahati Part3	376	155.89	0.00	155.89	Commercial Mixed Use Zone
875	Chahar Guwahati Part3	375	649.74	6.78	642.96	Commercial Mixed Use Zone
876	Chahar Guwahati Part3	600	79.49	0.00	79.49	Commercial Mixed Use Zone
877	Chahar Guwahati Part3	650	72.63	0.00	72.63	Commercial Mixed Use Zone
878	Chahar Guwahati Part3	381	61.25	4.48	56.76	Commercial Mixed Use Zone
879	Chahar Guwahati Part3	851	389.00	72.32	316.68	Commercial Mixed Use Zone
880	Chahar Guwahati Part3	379	153.40	0.00	153.40	Commercial Mixed Use Zone
881	Chahar Guwahati Part3	377	194.48	0.00	194.48	Commercial Mixed Use Zone
882	Chahar Guwahati Part3	476	194.83	0.00	194.83	Commercial Mixed Use Zone
883	Chahar Guwahati Part3	360	110.24	15.92	94.32	Mixed Use Zone
884	Chahar Guwahati Part3	378	178.47	0.00	178.47	Commercial Mixed Use Zone
885	Chahar Guwahati Part3	477	271.15	0.00	271.15	Commercial Mixed Use Zone
886	Chahar Guwahati Part3	380	393.67	3.64	390.02	Commercial Mixed Use Zone
887	Chahar Guwahati Part3	458	126.23	0.00	126.23	Commercial Mixed Use Zone

888	Chahar Guwahati Part3	537	465.21	0.00	465.21	Commercial Mixed Use Zone
889	Chahar Guwahati Part3	441	138.21	0.00	138.21	Commercial Mixed Use Zone
890	Chahar Guwahati Part3	440	70.88	0.00	70.88	Commercial Mixed Use Zone
891	Chahar Guwahati Part3	382	43.01	4.03	38.98	Commercial Mixed Use Zone
892	Chahar Guwahati Part3	439	289.01	0.00	289.01	Commercial Mixed Use Zone
893	Chahar Guwahati Part3	464	239.75	0.00	239.75	Commercial Mixed Use Zone
894	Chahar Guwahati Part3	435	234.98	0.00	234.98	Commercial Mixed Use Zone
895	Chahar Guwahati Part3	369	368.90	0.00	368.90	Mixed Use Zone
896	Chahar Guwahati Part3	663	64.82	0.00	64.82	Mixed Use Zone
897	Chahar Guwahati Part3	383	38.80	2.30	36.49	Commercial Mixed Use Zone
898	Chahar Guwahati Part3	353	278.13	0.00	278.13	Commercial Mixed Use Zone
899	Chahar Guwahati Part3	353	8.15	0.83	7.32	Commercial Mixed Use Zone
900	Chahar Guwahati Part3	351	7.49	0.74	6.75	Commercial Mixed Use Zone
901	Chahar Guwahati Part3	566	438.44	0.00	438.44	Commercial Mixed Use Zone
902	Chahar Guwahati Part3	475	175.84	0.00	175.84	Commercial Mixed Use Zone
903	Chahar Guwahati Part3	358	389.90	0.00	389.90	Mixed Use Zone
904	Chahar Guwahati Part3	385	222.93	2.64	220.29	Commercial Mixed Use Zone
905	Chahar Guwahati Part3	387	16.58	2.05	14.53	Commercial Mixed Use Zone
906	Chahar Guwahati Part3	357	174.97	0.00	174.97	Mixed Use Zone
907	Chahar Guwahati Part3	386	16.32	2.12	14.20	Commercial Mixed Use Zone
908	Chahar Guwahati Part3	356	100.59	0.00	100.59	Mixed Use Zone
909	Chahar Guwahati Part3	557	361.02	0.00	361.02	Commercial Mixed Use Zone
910	Chahar Guwahati Part3	457	120.80	0.00	120.80	Commercial Mixed Use Zone
911	Chahar Guwahati Part3	599	134.03	0.00	134.03	Commercial Mixed Use Zone
912	Chahar Guwahati Part3	648	71.66	0.00	71.66	Mixed Use Zone
913	Chahar Guwahati Part3	434	188.60	0.00	188.60	Commercial Mixed Use Zone
914	Chahar Guwahati Part3	388	195.07	4.36	190.71	Commercial Mixed Use Zone
915	Chahar Guwahati Part3	433	240.24	0.00	240.24	Commercial Mixed Use Zone
916	Chahar Guwahati Part3	346	170.45	13.41	157.04	Mixed Use Zone
917	Chahar Guwahati Part3	355	295.62	0.00	295.62	Mixed Use Zone
918	Chahar Guwahati Part3	452	828.83	176.46	652.36	Commercial Mixed Use Zone
919	Chahar Guwahati Part3	326	26.86	2.68	24.18	Mixed Use Zone
920	Chahar Guwahati Part3	474	174.61	0.00	174.61	Commercial Mixed Use Zone
921	Chahar Guwahati Part3	671	207.21	0.44	206.77	Commercial Mixed Use Zone
922	Chahar Guwahati Part3	541	49071.68	3770.11	45301.57	Commercial Mixed Use Zone
923	Chahar Guwahati Part3	354	110.73	0.00	110.73	Mixed Use Zone
924	Chahar Guwahati Part3	0	304.84	0.00	304.84	Commercial Mixed Use Zone
925	Chahar Guwahati Part3	325	26.16	2.70	23.46	Mixed Use Zone
926	Chahar Guwahati Part3	389	204.19	7.25	196.95	Commercial Mixed Use Zone
927	Chahar Guwahati Part3	465	230.78	0.00	230.78	Commercial Mixed Use Zone
928	Chahar Guwahati Part3	353	244.10	0.00	244.10	Mixed Use Zone

929	Chahar Guwahati Part3	535	260.36	0.00	260.36	Commercial Mixed Use Zone
930	Chahar Guwahati Part3	616	80.08	0.04	80.05	Mixed Use Zone
931	Chahar Guwahati Part3	429	156.46	0.00	156.46	Commercial Mixed Use Zone
932	Chahar Guwahati Part3	352	148.08	0.27	147.82	Mixed Use Zone
933	Chahar Guwahati Part3	456	124.62	0.00	124.62	Commercial Mixed Use Zone
934	Chahar Guwahati Part3	672	227.19	1.73	225.46	Commercial Mixed Use Zone
935	Chahar Guwahati Part3	430	252.96	0.00	252.96	Commercial Mixed Use Zone
936	Chahar Guwahati Part3	351	247.89	1.07	246.81	Mixed Use Zone
937	Chahar Guwahati Part3	466	86.17	0.00	86.17	Commercial Mixed Use Zone
938	Chahar Guwahati Part3	390	392.54	11.97	380.58	Commercial Mixed Use Zone
939	Chahar Guwahati Part3	428	89.54	0.00	89.54	Commercial Mixed Use Zone
940	Chahar Guwahati Part3	505	540.16	0.00	540.16	Commercial Mixed Use Zone
941	Chahar Guwahati Part3	470	141.59	0.00	141.59	Commercial Mixed Use Zone
942	Chahar Guwahati Part3	391	73.35	2.67	70.67	Commercial Mixed Use Zone
943	Chahar Guwahati Part3	350	270.77	2.63	268.13	Mixed Use Zone
944	Chahar Guwahati Part3	392	68.05	2.14	65.90	Commercial Mixed Use Zone
945	Chahar Guwahati Part3	534	219.58	2.76	216.83	Commercial Mixed Use Zone
946	Chahar Guwahati Part3	349	268.07	5.24	262.82	Mixed Use Zone
947	Chahar Guwahati Part3	467	80.20	0.00	80.20	Commercial Mixed Use Zone
948	Chahar Guwahati Part3	393	143.14	4.13	139.01	Commercial Mixed Use Zone
949	Chahar Guwahati Part3	329	290.71	3.96	286.75	Mixed Use Zone
950	Chahar Guwahati Part3	348	531.07	9.56	521.51	Mixed Use Zone
951	Chahar Guwahati Part3	454	150.18	67.54	82.64	Commercial Mixed Use Zone
952	Chahar Guwahati Part3	453	619.77	126.94	492.82	Commercial Mixed Use Zone
953	Chahar Guwahati Part3	558	93.45	5.09	88.36	Commercial Mixed Use Zone
954	Chahar Guwahati Part3	432	339.30	12.08	327.22	Commercial Mixed Use Zone
955	Chahar Guwahati Part3	455	144.21	9.03	135.17	Commercial Mixed Use Zone
956	Chahar Guwahati Part3	522	56.21	0.00	56.21	Commercial Mixed Use Zone
957	Chahar Guwahati Part3	462	613.12	7.58	605.54	Commercial Mixed Use Zone
958	Chahar Guwahati Part3	431	123.50	10.92	112.58	Commercial Mixed Use Zone
959	Chahar Guwahati Part3	468	62.07	10.34	51.73	Commercial Mixed Use Zone
960	Chahar Guwahati Part3	427	144.01	12.48	131.53	Commercial Mixed Use Zone
961	Chahar Guwahati Part3	426	87.16	6.06	81.10	Commercial Mixed Use Zone
962	Chahar Guwahati Part3	469	112.86	7.95	104.92	Commercial Mixed Use Zone
963	Chahar Guwahati Part3	425	82.18	3.36	78.82	Commercial Mixed Use Zone
964	Chahar Guwahati Part3	328	306.01	4.19	301.82	Mixed Use Zone
965	Chahar Guwahati Part3	503	613.61	1.25	612.37	Commercial Mixed Use Zone
966	Chahar Guwahati Part3	506	239.09	0.00	239.09	Commercial Mixed Use Zone
967	Chahar Guwahati Part3	517	115.90	0.00	115.90	Commercial Mixed Use Zone
968	Chahar Guwahati Part3	471	161.93	5.12	156.80	Commercial Mixed Use Zone
969	Chahar Guwahati Part3	321	247.75	34.74	213.01	Mixed Use Zone